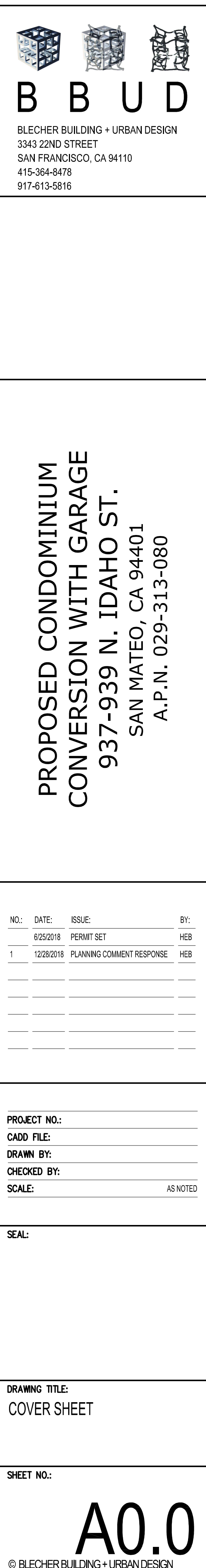


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**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE**
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.: DATE: ISSUE: BY:
1 12/28/2018 PLANNING COMMENT RESPONSE HEB

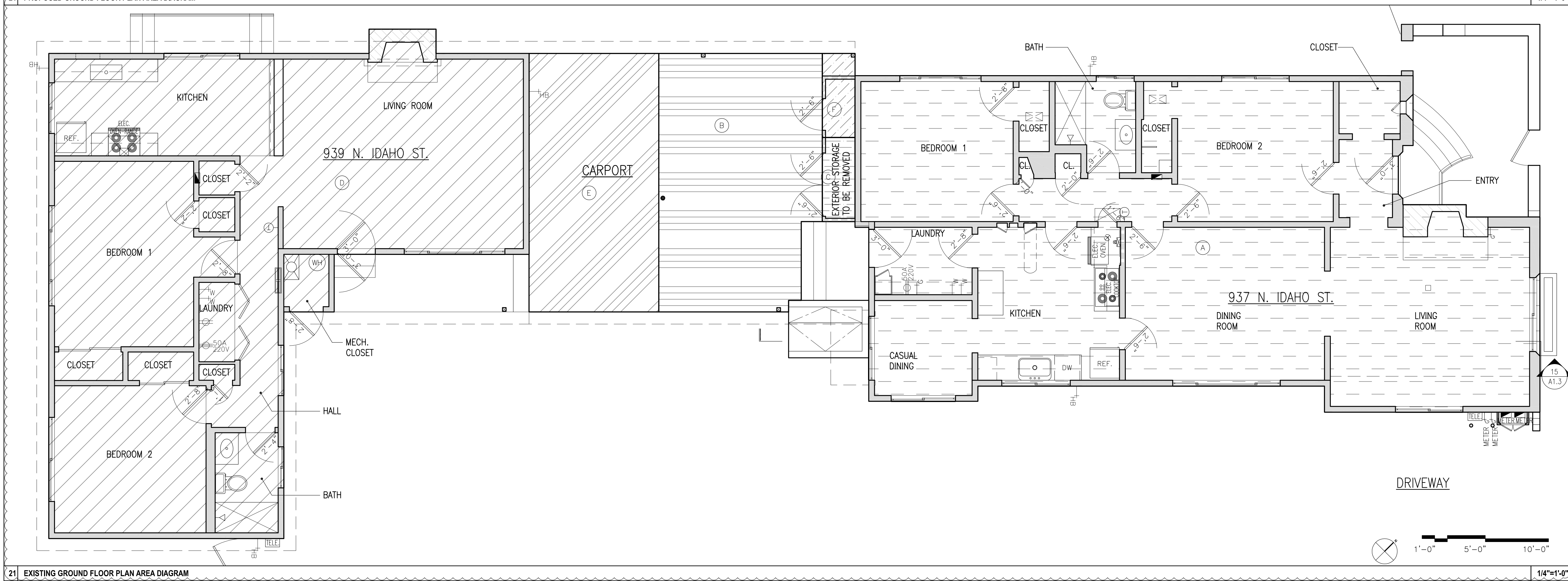
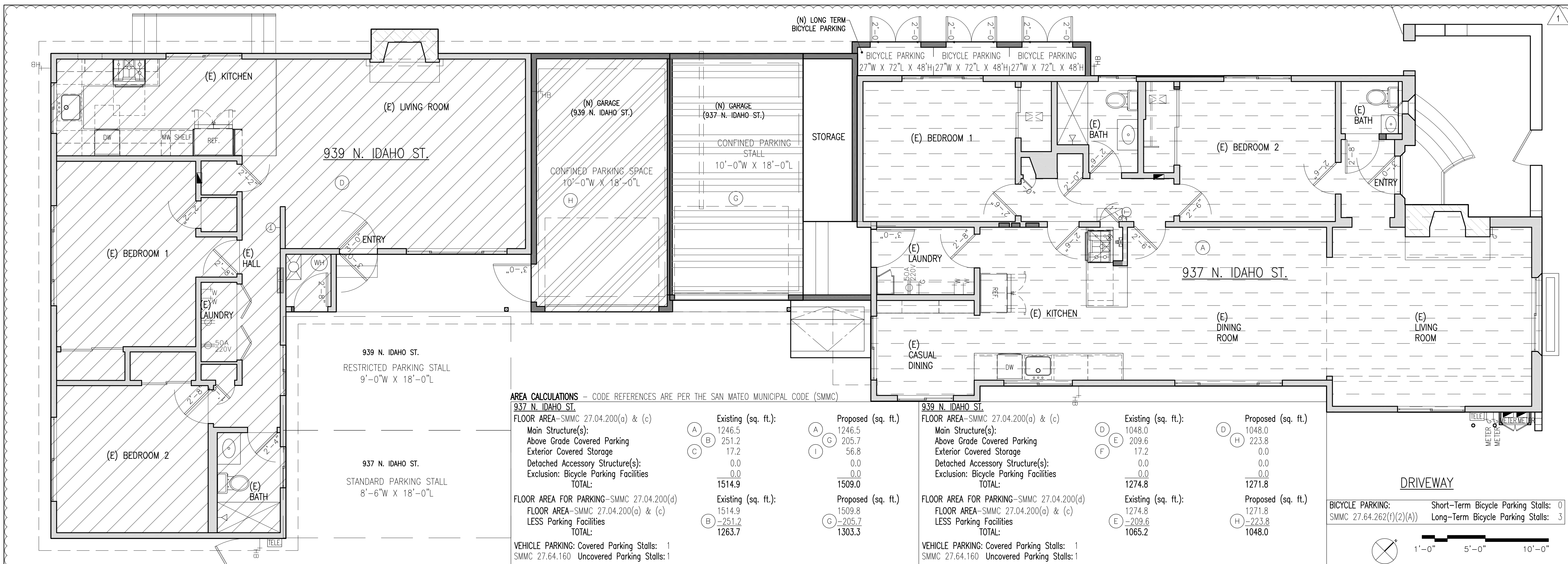
PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
AREA DIAGRAMS &
CALCULATIONS

SHEET NO.:

A0.1
© BLECHER BUILDING + URBAN DESIGN



OWNER/APPLICANT

ROBERT ZLATIC
505 BURLINGAME AVE.
BURLINGAME, CA 94010
650 347-2586

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
(925) 476-8499

GENERAL

ASSESSORS PARCEL NO(s): 029-313-080
PROJECT ADDRESS: 937-939 N. IDAHO STREET
SAN MATEO, CA
TOTAL GROSS AREA: 7,646 SF
EXISTING USE: RESIDENTIAL
PROPOSED USE: RESIDENTIAL
EXISTING ZONING: R3-MULTIPLE FAMILY DWELLINGS
PROPOSED ZONING: R3-MULTIPLE FAMILY DWELLINGS
NUMBER OF UNITS: 2 CONDOMINIUM UNITS
FEMA FLOOD DESIGNATION: ZONE "X", PANEL 06081C0154F (7/16/15)

FACILITIES

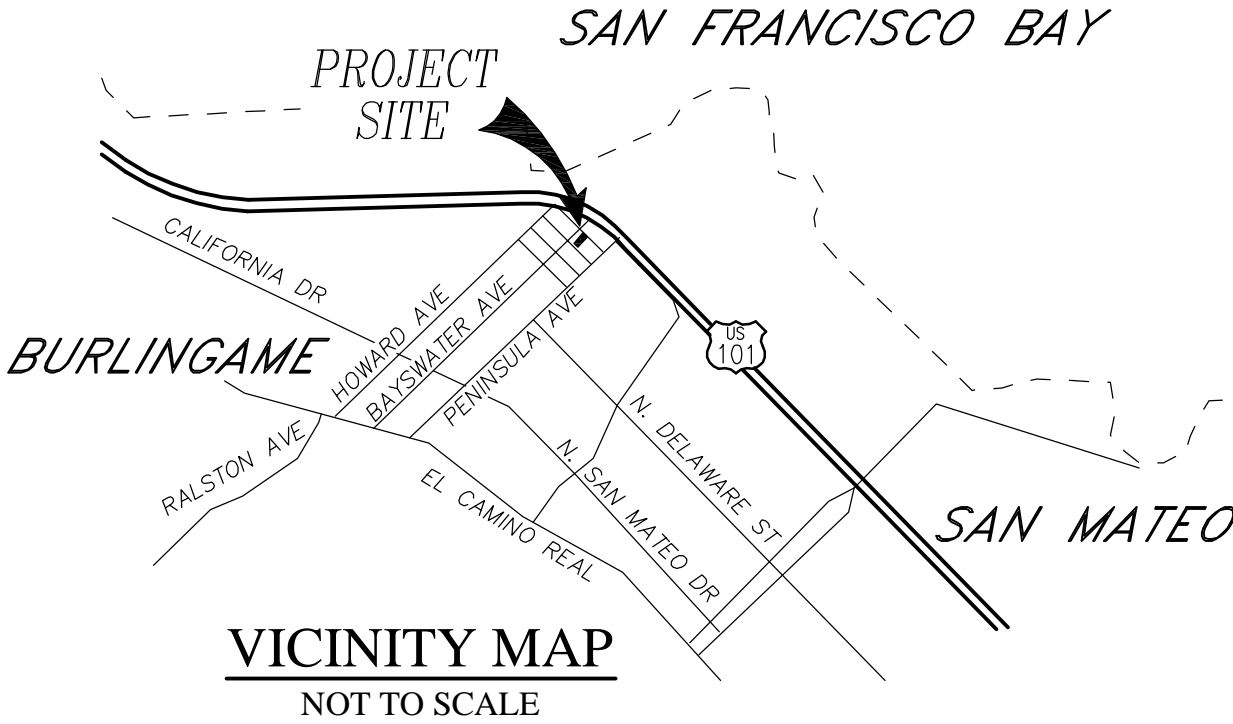
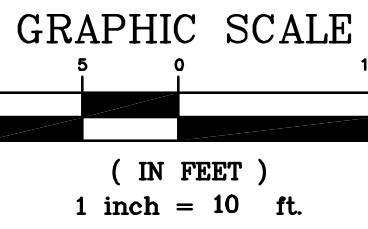
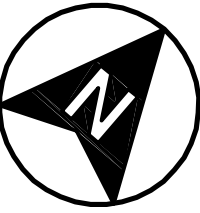
WATER: CAL WATER
SEWER: CITY OF SAN MATEO
STORM DRAIN: CITY OF SAN MATEO
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE: COMCAST
FIRE PROTECTION: CITY OF SAN MATEO

BENCHMARK

ELEVATIONS ARE BASED ON USGS BENCHMARK
TIDAL 1, BRASS DISC IN TOP OF RETAINING
WALL COYOTE POINT MARINA NAVD 88
ELEV=15.60'

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE RIGHT OF WAY
LINE OF NORTH IDAHO STREET (FORMERLY 'I'
STREET) AS SHOWN ON THE MAP OF
BAYSHORE HIGHWAY TRACT (14 M 43) TAKEN
AS SOUTH 41°23'45" EAST



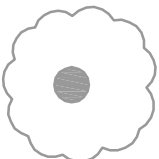
VESTING TENTATIVE
PARCEL MAP NO. 18-042
FOR CONDOMINIUM PURPOSES, FOR
NOT TO EXCEED TWO (2)
RESIDENTIAL CONDOMINIUM UNITS

BEING ALL OF LOT 17 AS SHOWN ON THE MAP OF
BAYSHORE HIGHWAY TRACT FILED IN BOOK 14 OF
MAPS PAGE 43 SAN MATEO COUNTY RECORDS

CITY OF SAN MATEO
COUNTY OF SAN MATEO
STATE OF CALIFORNIA

LEGEND

- EXISTING
- BOUNDARY
- R/W
- ADJACENT PROPERTY LINE
- CENTERLINE
- BUILDING LINE
- FENCE LINE
- EX WATER LINE
- EX SEWER LINE
- INDEX CONTOUR
- INTERMEDIATE CONTOURS
- PAVEMENT
- CONCRETE
- WM
- WATER METER
- STREETLIGHT
- FOUND MONUMENT
- ES
- GM
- CO
- AD
- FF
- GL
- EG
- TC
- ELECTRICAL SERVICE
- GAS METER
- SEWER CLEANOUT
- AREA DRAIN
- FINISH FLOOR
- GARAGE LIP
- EXISTING GRADE
- TOP OF CURB



TREE TRUNK/APPROX CANOPY

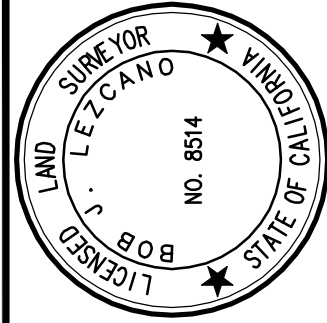
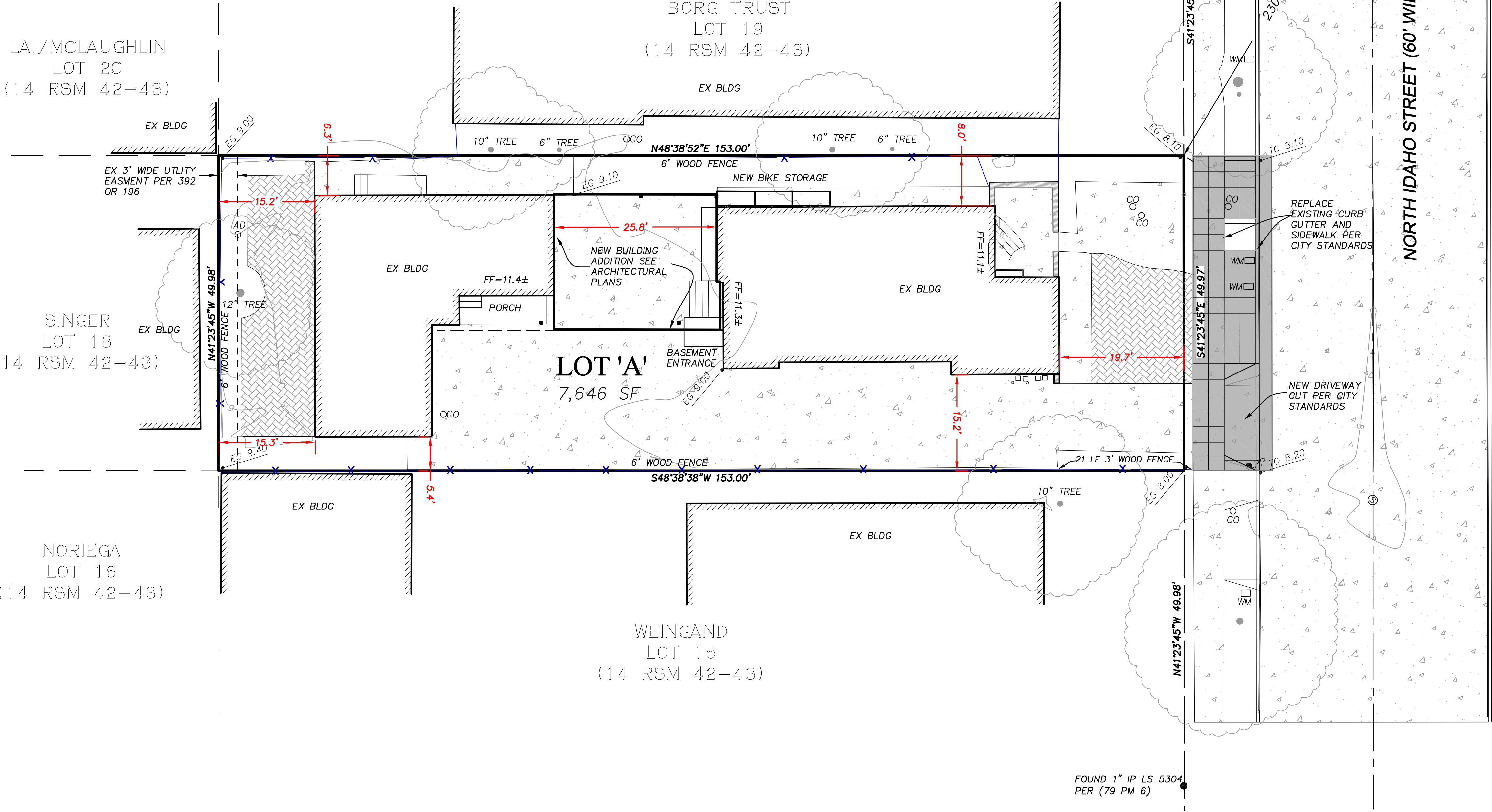
TREE DIAMETERS AND SPECIES
SHOWN ARE APPROXIMATE,
CONSULT AN ARBORIST FOR
ACCURATE BOTANICAL
INFORMATION

NOTES

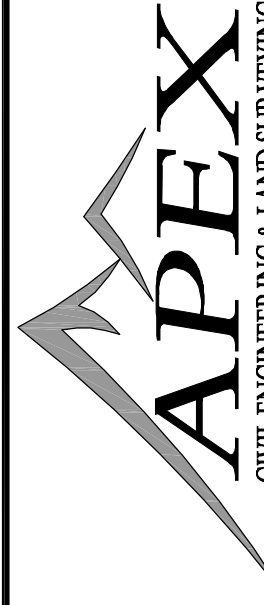
NO NEW STREETS ARE PROPOSED.

THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON
THE PLANS HAVE BEEN DETERMINED FROM THE BEST
INFORMATION AVAILABLE. IT SHALL BE THE
CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE
VARIOUS UTILITIES AND EXERCISE EXTREME CAUTION
IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.

DATE OF TOPOGRAPHIC SURVEY WAS NOVEMBER 2017



817 Arnold Drive Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.apexce.net



NO.	REVISIONS	BY	APP	DATE

VESTING TENTATIVE
PARCEL MAP NO 18-042
937-939 NORTH IDAHO STREET

SHEET
1 OF 1
DATE
2-14-19
PROJ#17107

RECORD BOUNDARY AND TOPOGRAPHIC SURVEY

937 NORTH IDAHO STREET

CITY OF SAN MATEO
COUNTY OF SAN MATEO
STATE OF CALIFORNIA

LEGEND	
EXISTING	ITEM
	BOUNDARY
	R/W
	ADJACENT PROPERTY LINE
	CENTERLINE
	BUILDING LINE
	FENCE LINE
	INDEX CONTOUR
	INTERMEDIATE CONTOURS
	PAVEMENT
	CONCRETE
	WATER METER
	POWER POLE
	STREETLIGHT
	FOUND SURVEY MARKER AS SHOWN
	ELECTRICAL SERVICE
	GAS METER
	SEWER CLEANOUT
	AREA DRAIN
	FINISH FLOOR
	GARAGE LIP

BENCHMARK

ELEVATIONS ARE BASED ON USGS BENCHMARK
TIDAL 1, BRASS DISC IN TOP OF RETAINING
WALL COYOTE POINT MARINA NAVD 88
ELEV=15.60'

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE RIGHT OF WAY
LINE OF NORTH IDAHO STREET (FORMERLY 'I'
STREET) AS SHOWN ON THE THE MAP OF
BAYSHORE HIGHWAY TRACT (14 M 42) TAKEN
AS SOUTH 41°23'45" EAST

TREE TRUNK/APPROX CANOPY

TREE DIAMETERS AND SPECIES
SHOWN ARE APPROXIMATE,
CONSULT AN ARBORIST FOR
ACCURATE BOTANICAL
INFORMATION

LAI/MCLAUGHLIN
LOT 20
(14 RSM 42-43)

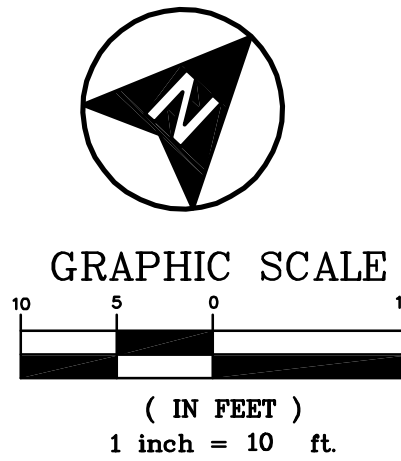
SINGER
LOT 18
(14 RSM 42-43)

NORIEGA
LOT 16
(14 RSM 42-43)

BORG TRUST
LOT 19
(14 RSM 42-43)

WEINGAND
LOT 15
(14 RSM 42-43)

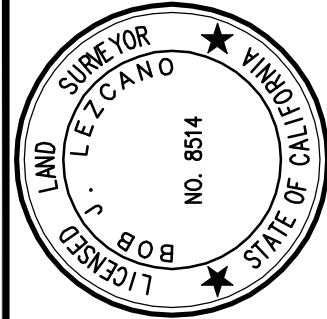
ZLATIC
LOT 17 (14 RSM 42-43)
937 N. IDAHO ST
APN 029-313-080
7,646 SF±



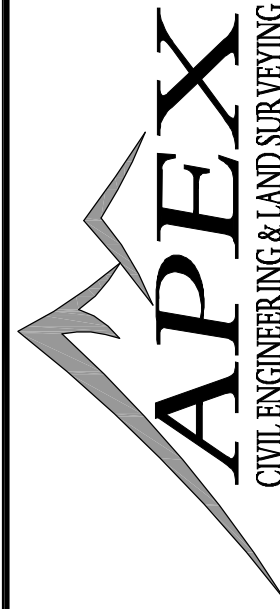
FOUND 3/4" IP LS
5454 PER (64 PM 79)

FOUND 1" IP LS 5304
PER (79 PM 6)

EX HYDRANT AT NE
CORNER OF BAYSWATER
AND N. IDAHO



817 Arnold Drive Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.apexce.net



REVISIONS		NO.	BY	APP	DATE

RECORD BOUNDARY & TOPOGRAPHIC SURVEY
937 N. IDAHO STREET, SAN MATEO, CA

SHEET
1 OF 1
DATE
2-14-19
PROJ#17107

RECORD BOUNDARY AND TOPOGRAPHIC SURVEY

937 NORTH IDAHO STREET

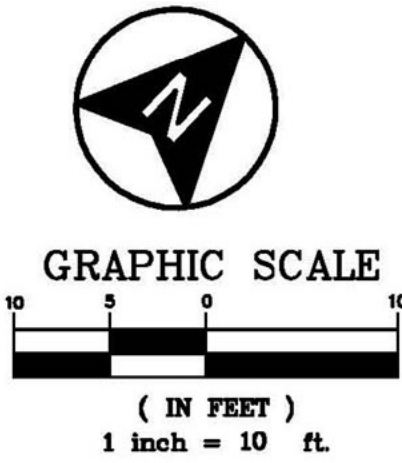
BENCHMARK

ELEVATIONS ARE BASED ON USGS BENCHMARK
TIDAL 1, BRASS DISC IN TOP OF RETAINING
WALL COYOTE POINT MARINA NAVD 88
ELEV=15.60'

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE RIGHT OF WAY
LINE OF NORTH IDAHO STREET (FORMERLY 1'
STREET) AS SHOWN ON THE THE MAP OF
BAYSHORE HIGHWAY TRACT (14 M 42) TAKEN
AS SOUTH 41°23'45" EAST

CITY OF SAN MATEO
COUNTY OF SAN MATEO
STATE OF CALIFORNIA



SITE PLAN NOTES:
1. DIMENSIONS ARE TO FINISHED FACE WHERE APPLICABLE
2. PER CBC §1804.3 SITE GRADING, THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.
EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).

A1/MCLAUGHLIN
LOT 20
4 RSM 42-43)

SINGER
LOT 18
RSM 42-43)

NORIEGA
LOT 16
1 RSM 42-43)

BORG TRUST
LOT 19
(14 RSM 42-43)

ZLATIC
LOT 17 (14 RSM 42-43)
937 N. IDAHO ST
APN 029-313-080
7,646 SF±

WEINGAND
LOT 15
(14 RSM 42-43)

EROSION CONTROL NOTES:
1. SEE SHEET A1.0.1

DEMOLITION NOTES:

- ALL SURFACES DESIGNATED TO REMAIN SHALL BE PROTECTED TO ASSURE THAT THEY ARE NOT DAMAGED DURING DEMOLITION. ANY ITEMS DAMAGED SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER, WHERE ITEMS HAVE TO BE REPLACED, MATCH EXISTING MATERIALS TO MAXIMUM DEGREE POSSIBLE GIVEN PRESENT MATERIAL AVAILABILITY AND CRAFTSMANSHIP. AVOID UNNECESSARY CUTTING AND PATCHING.
- DEMOLITION INFORMATION IS SHOWN TO FACILITATE PROPOSED WORK. ALL DEMOLITION MUST BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS. COORDINATE AND VERIFY SCOPE OF ELECTRICAL AND MECHANICAL SYSTEM DEMOLITION WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- IF CONTRACTOR DISCOVERS DISCREPANCIES, OMISSIONS OR HIDDEN CONDITIONS DIFFERING FROM DEMOLITION INFORMATION, GENERAL CONTRACTOR TO CONTACT DESIGNER BEFORE PROCEEDING WITH WORK.
- PRIOR TO DEMOLITION, CONTRACTOR TO SCHEDULE ON-SITE MEETING WITH DESIGNER TO REVIEW EXTENT OF DEMOLITION WORK. PRIOR TO CUTTING OF OPENINGS IN EXISTING WALLS, CONTRACTOR TO SCHEDULE ON-SITE MEETING WITH DESIGNER TO REVIEW PROCEDURES.

- DISRUPTIONS IN THE WEATHER PROTECTIVE SURFACES DUE TO DEMOLITION SHALL BE ADEQUATELY PROTECTED TO PREVENT WEATHER INFILTRATION.
- GENERAL CONTRACTOR TO PROVIDE SHORING AND BRACING AS REQUIRED.
- IN ALL LOCATIONS OF NEW OPENINGS IN EXISTING WALLS, CAREFULLY CUT AT EDGE OF NEW OPENING PRIOR TO REMOVAL. ALL SAW CUTS ARE TO BE STRAIGHT AND NEAT. WHERE CORNERS ARE REQUIRED TO BE CUT, SAW CUTS SHALL MEET AT THE CORNER AND NOT EXTEND BEYOND THAT WHICH IS TO REMAIN. WHERE SAW CUTTING IS IMPOSSIBLE CAREFULLY CHISEL EXISTING MATERIAL TO PROVIDE A NEAT AND STRAIGHT OUTSIDE EDGE UPON REMOVAL. REFER TO ARCHITECTURAL DRAWINGS AND SCHEDULES FOR DIMENSIONS OF OPENINGS.
- DURING CONSTRUCTION ALL FLOOR OPENINGS AND TRENCHES TO BE PROVIDED WITH TEMPORARY BARRIERS OR COVERS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH OSHA STANDARDS.

FOUND 1" IP LS 5304
PER (79 PM 6)

FOUND 3/4" IP LS
5454 PER (64 PM 79)

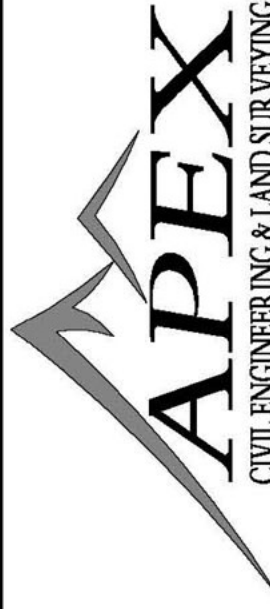
EX HYDRANT AT NE
CORNER OF BAYSWATER
AND N. IDAHO

230' TO NEAREST HYDRANT

NORTH IDAHO STREET



817 Arnold Drive Ste. 50
Narbonne, CA 94553
Ph: (925) 476-8899
www.apexce.net



NO.	REVISIONS	BY	APP	DATE

RECORD BOUNDARY & TOPOGRAPHIC SURVEY
937 N. IDAHO STREET, SAN MATEO, CA

SHEET
1 OF 1
DATE
2-14-19
PROJ#17107



PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.	DATE	ISSUE	BY

PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

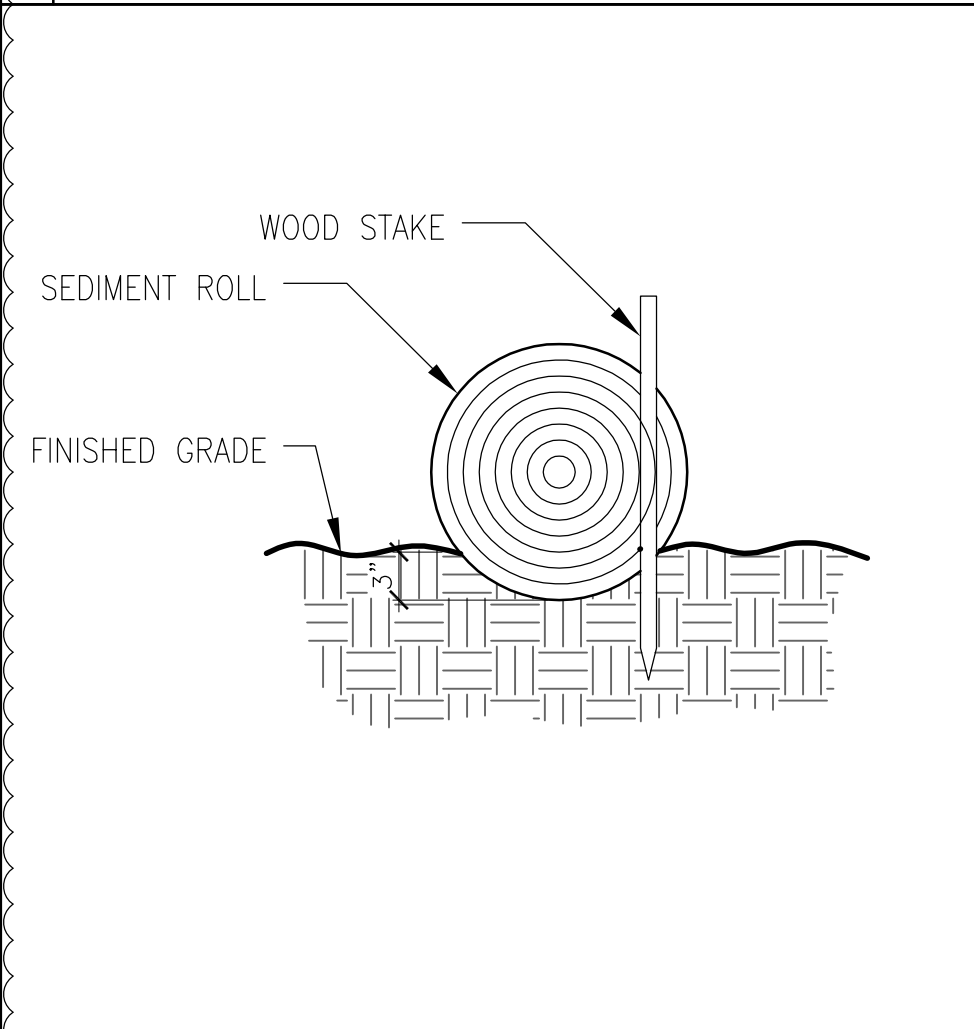
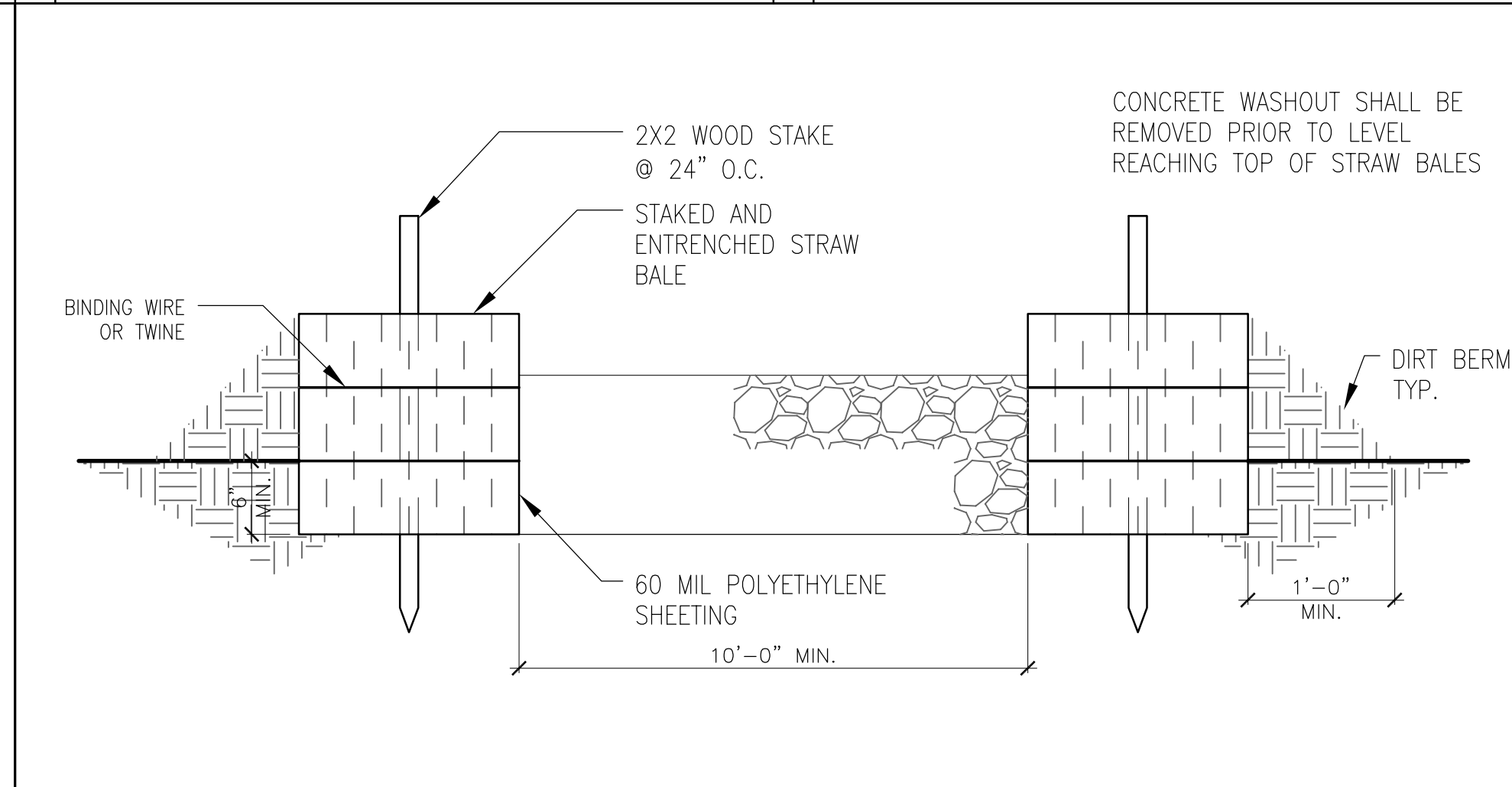
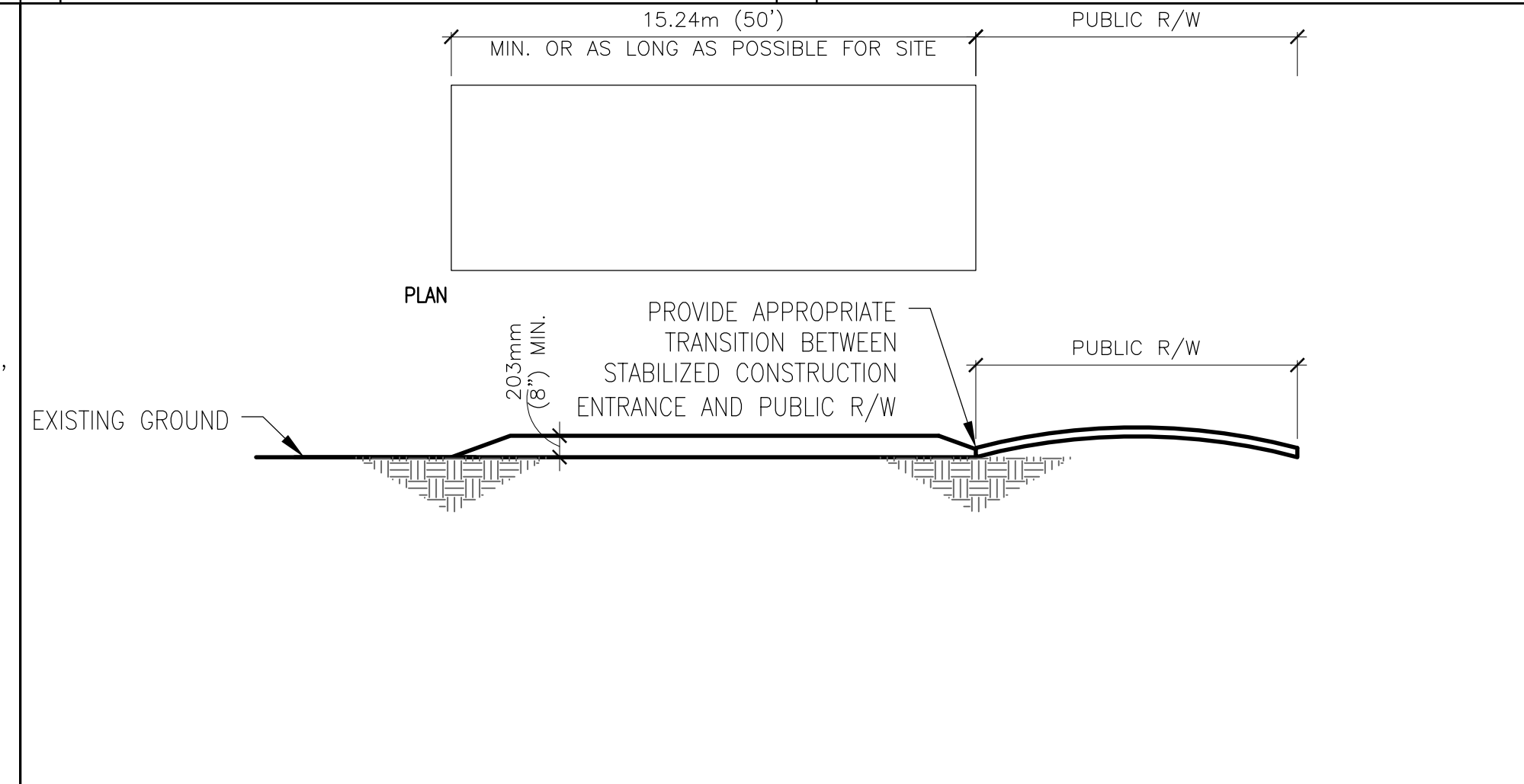
SEAL:

DRAWING TITLE:
SITE PLAN: PROPOSED OVER
RECORD BOUNDARY &
TOPO SURVEY WITH PARKING

SHEET NO.:

A1.0

© BLECHER BUILDING + URBAN DESIGN

1											
24		NOT USED		20		NOT USED		16		NOT USED	
23		NOT USED		19		NOT USED		15		NOT USED	
22		NOT USED		18		NOT USED		14		NOT USED	
											
21		SEDIMENT ROLL ENTRENCHMENT IN FLAT AREA		N.T.S.		17		AGGREGATE AND CONCRETE RINSE AREA DETAIL		N.T.S.	
										9	
										STABILIZED CONSTRUCTION ENTRANCE	

B B U D

BLECHER BUILDING + URBAN DESIGN

3343 22ND STREET

SAN FRANCISCO, CA 94110

415-364-8478

917-613-5816

PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE

937-939 N. IDAHO ST.

SAN MATEO, CA 94401

A.P.N. 029-313-080

NO.: 1

DATE: 12/28/2018

ISSUE: PLANNING COMMENT RESPONSE

BY: HEB

PROJECT NO.:

CADD FILE:

DRAWN BY: HEB

CHECKED BY:

SCALE: AS NOTED

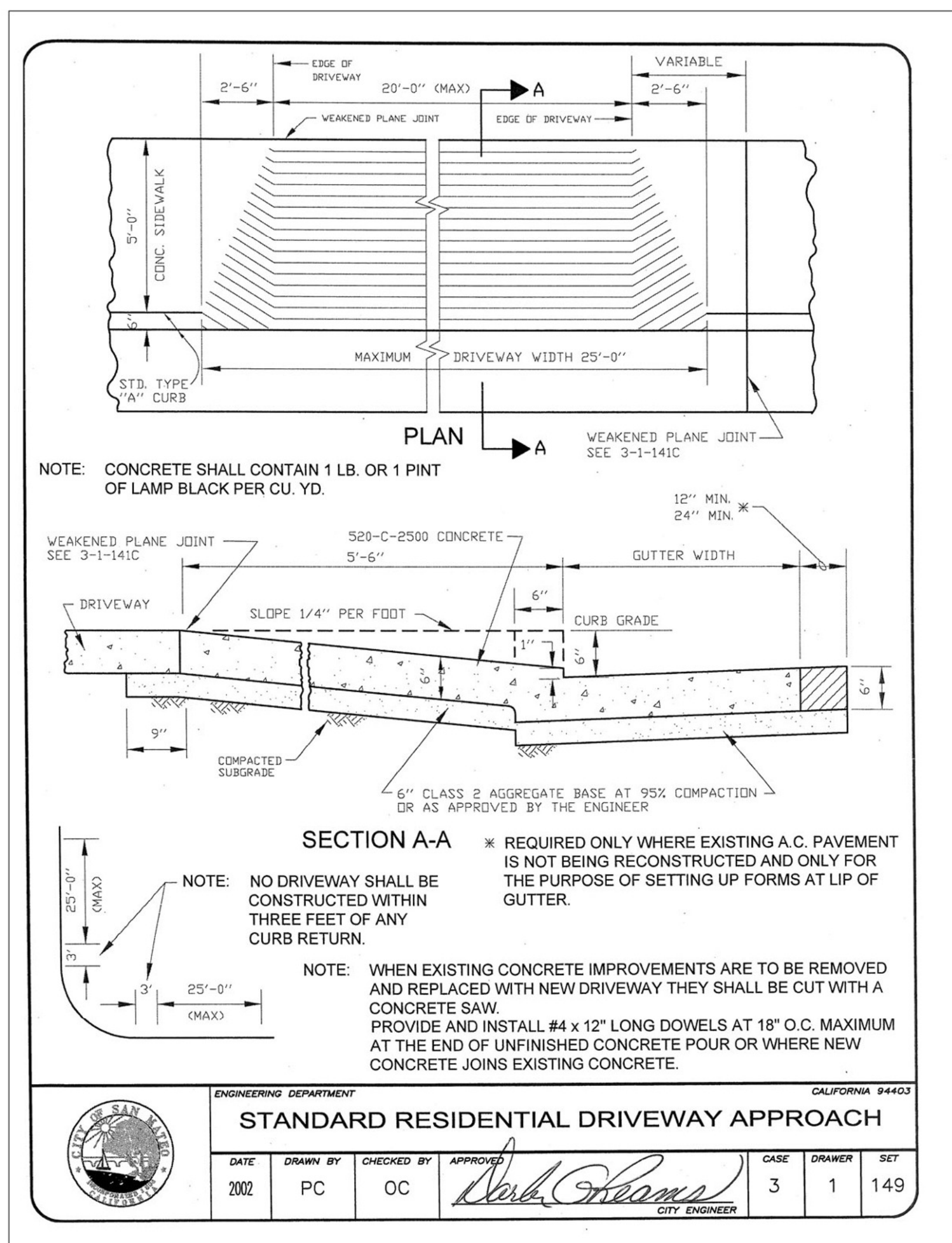
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DRAWING TITLE:
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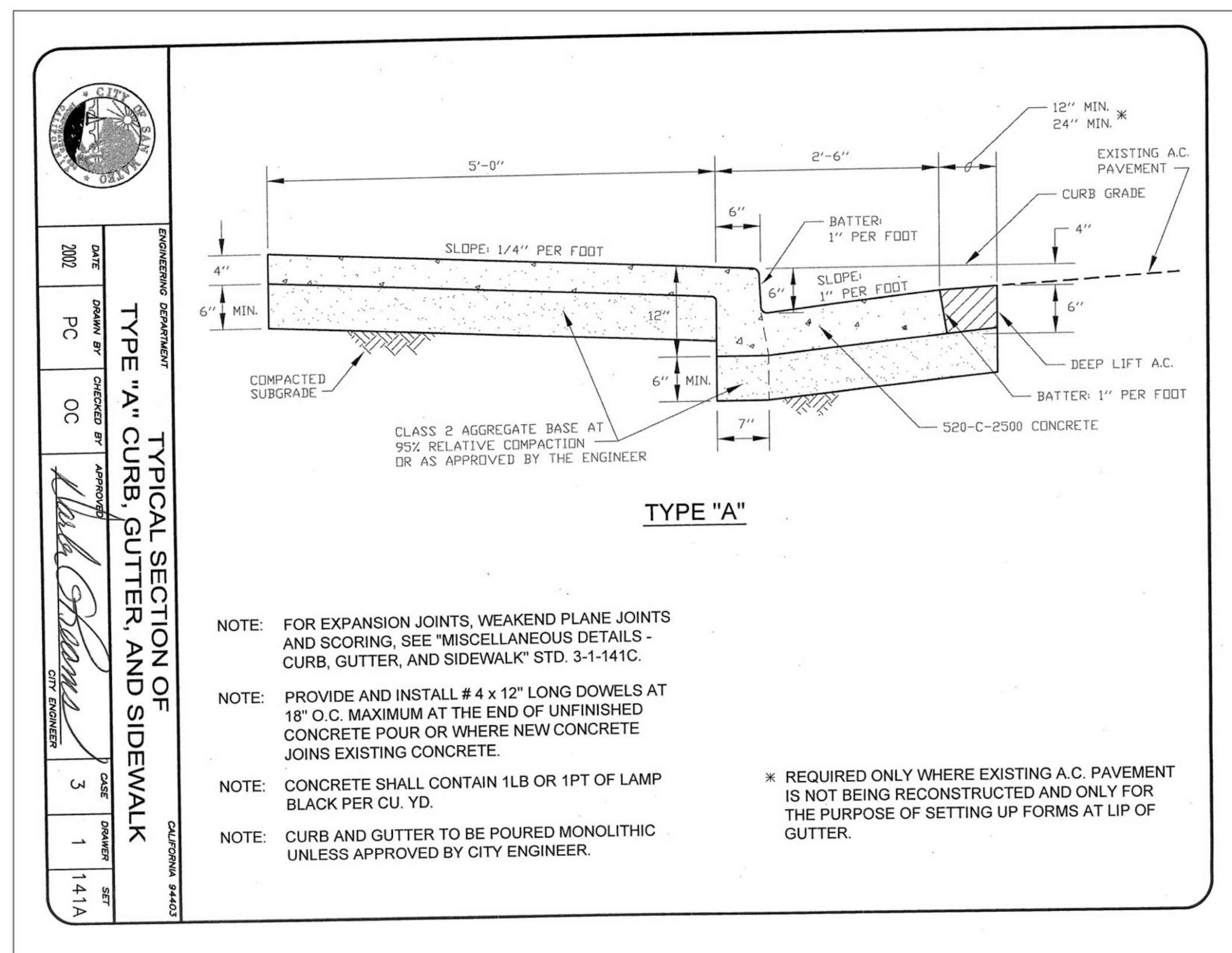
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A1.0.1

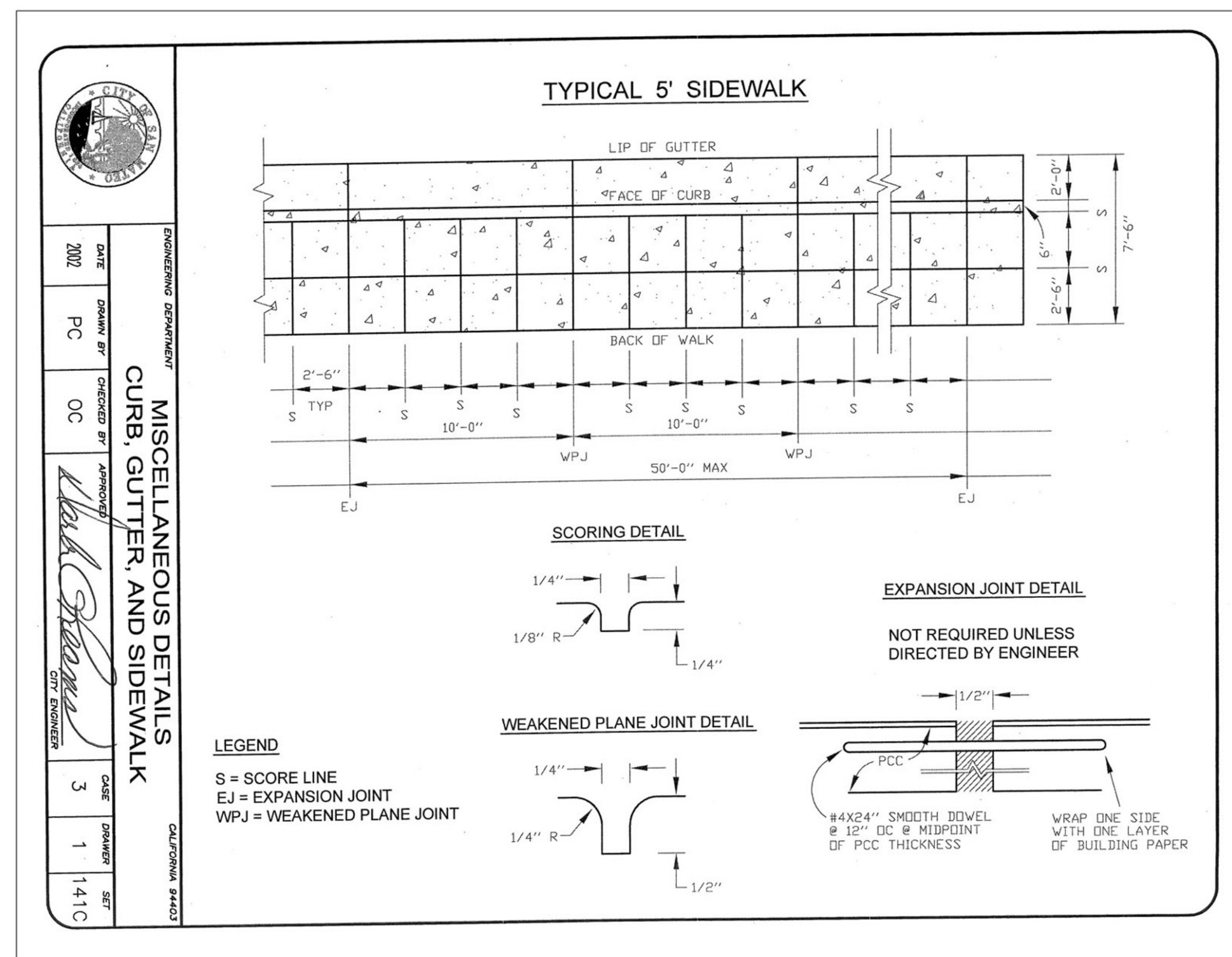
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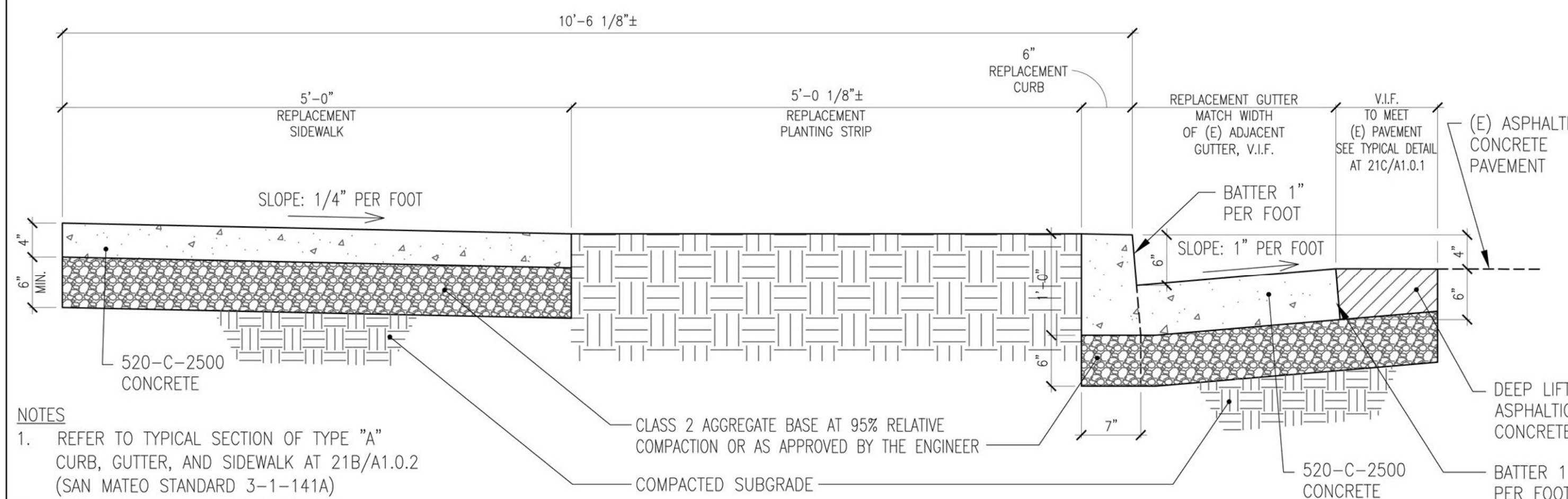
A STANDARD RESIDENTIAL DRIVEWAY APPROACH
(CITY OF SAN MATEO STANDARD DETAIL 3-1-149)



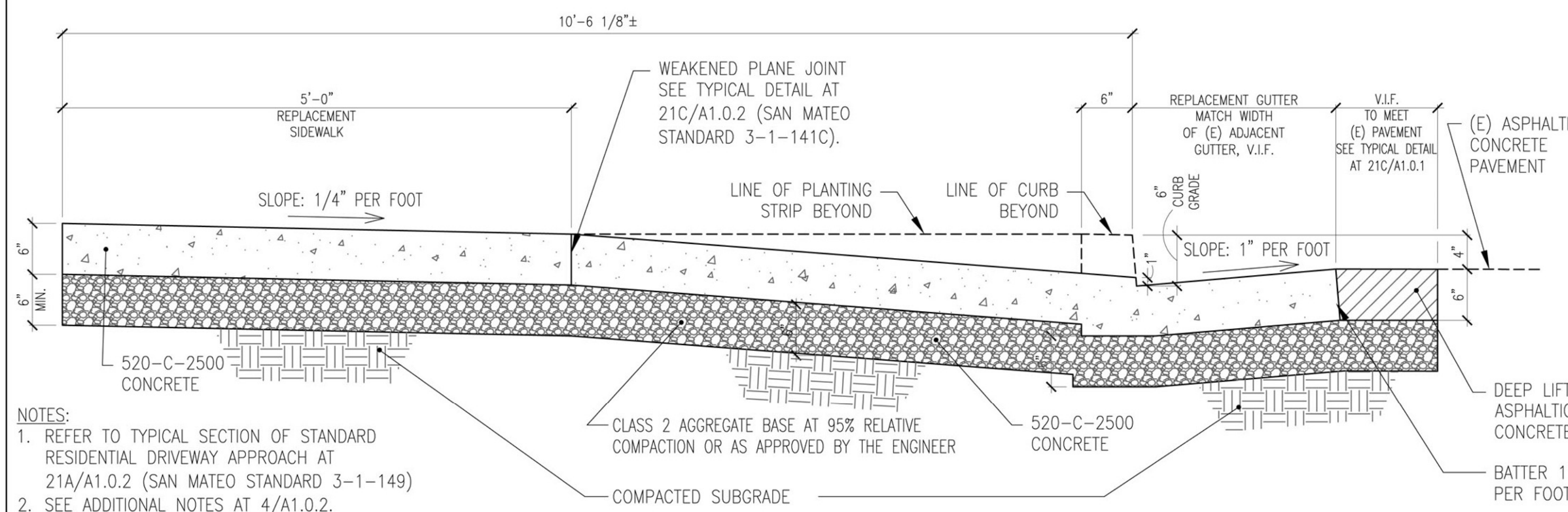
B TYPICAL SECTION OF TYPE "A" CURB, GUTTER, AND SIDEWALK
(CITY OF SAN MATEO STANDARD DETAIL 3-1-141A)



C MISCELLANEOUS DETAILS CURB, GUTTER, AND SIDEWALK
(CITY OF SAN MATEO STANDARD DETAIL 3-1-141C)



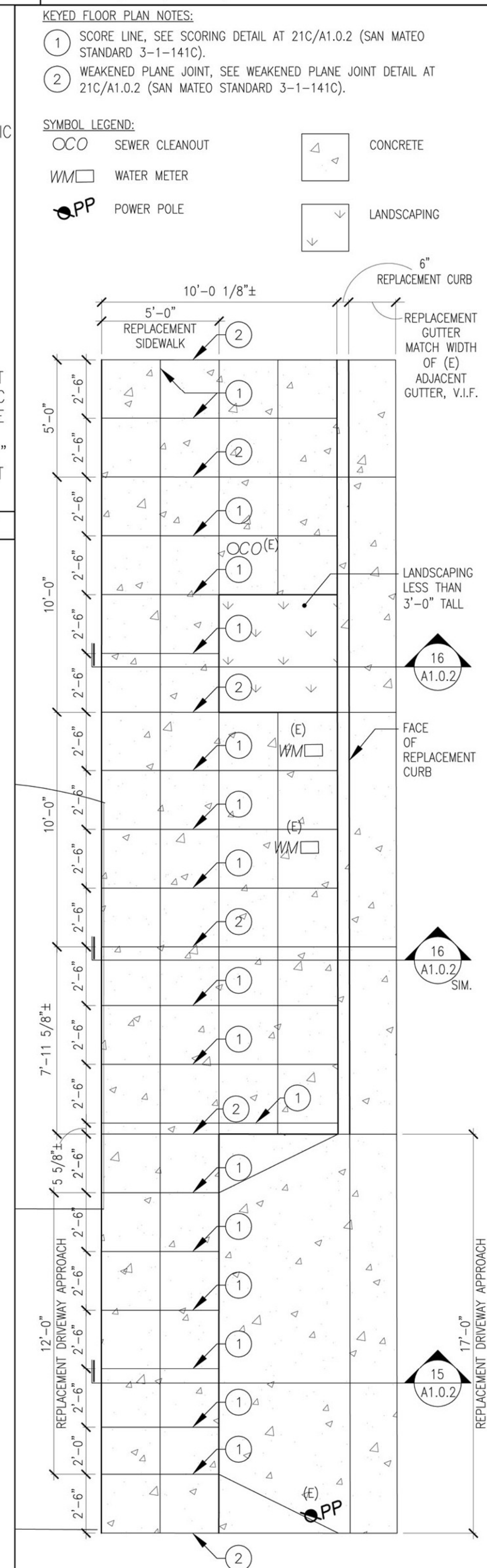
16 CURB, GUTTER, AND SIDEWALK SECTION



15 DRIVEWAY APPROACH SECTION

- NOTES:
- FOR WEAKENED PLANE JOINTS AND SCORING SEE DETAIL AT 21C/A1.0.2 (SAN MATEO STANDARD 3-1-141C).
 - PROVIDE AND INSTALL #4 X 12" LONG DOWELS AT 18" O.C. MAX. AT THE END OF UNFINISHED CONC. POUR OR WHERE (N) CONC. JOINS (E) CONC. CONC. SHALL CONTAIN 1 LB. OR 1 PINT OF LAMP BLACK PER CU. YD.
 - CURB AND GUTTER TO BE POURED MONOLITHIC UNLESS APPROVED BY CITY ENGINEER

1"=1'-0" 4 DRIVEWAY, CURB, GUTTER, AND SIDEWALK NOTES



N.T.S. 1 PROPOSED SIDEWALK AND DRIVEWAY APPROACH PLAN 1/4"=1'-0"



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3343 22ND STREET
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415-364-8478
917-613-5816

**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE**
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.	DATE	ISSUE	BY
1	12/28/2018	PLANNING COMMENT RESPONSE	HEB

PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
**PROPOSED SIDEWALK,
DRIVEWAY APPROACH AND
STREET IMPROVEMENTS**

SHEET NO.:

A1.0.2

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**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE**
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.:	DATE:	ISSUE:	BY:
	6/25/2018	PERMIT SET	HEB

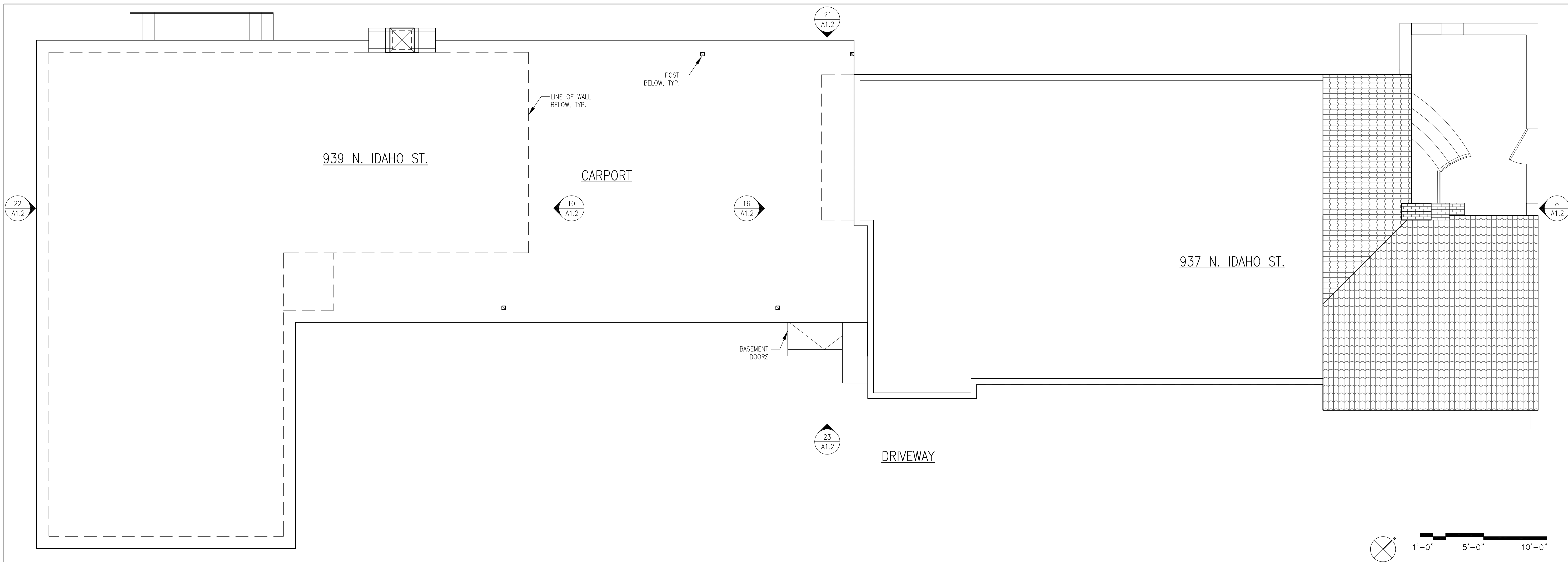
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CHECKED BY:	
SCALE:	AS NOTED

SEAL:

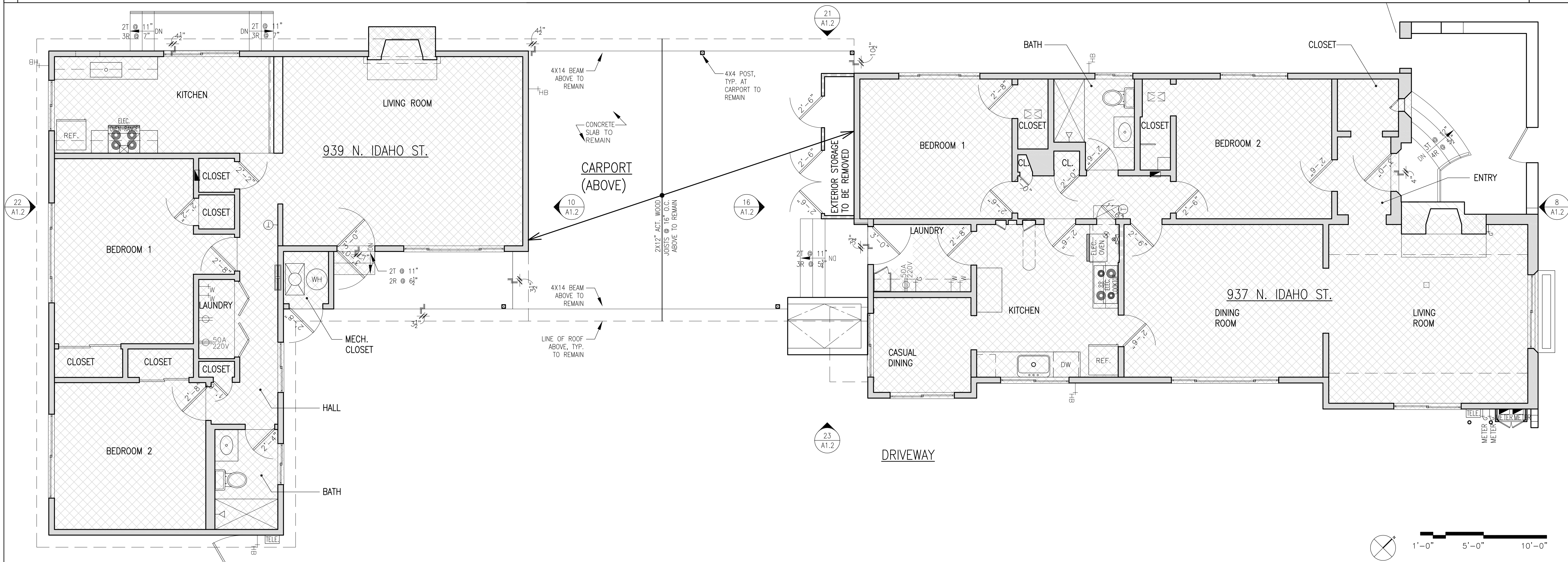
DRAWING TITLE:
EXISTING/DEMOLITION FLR. PLAN
EXISTING/DEMO. & PROPOSED
ROOF PLAN

SHEET NO.:

A1.1
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23 EXISTING/DEMOLITION & PROPOSED ROOF PLAN 1/4"=1'-0"



21 EXISTING/DEMOLITION GROUND FLOOR PLAN 1/4"=1'-0"

**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE**
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.	DATE:	ISSUE:	BY:
5/4/2018	PRE-APP NEIGHBORHOOD, INFO, MTG.	HEB	
6/25/2018	PERMIT SET	HEB	

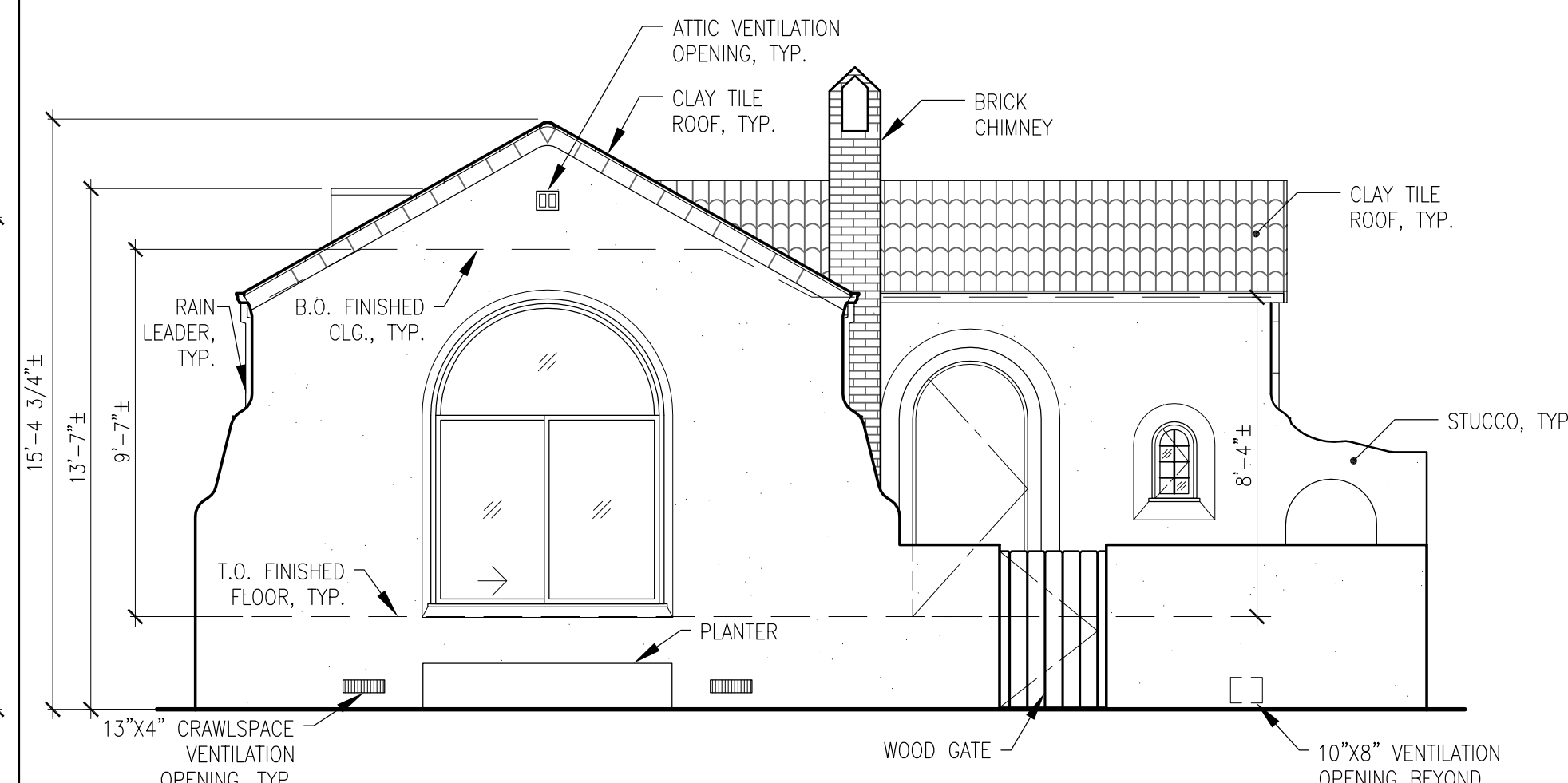
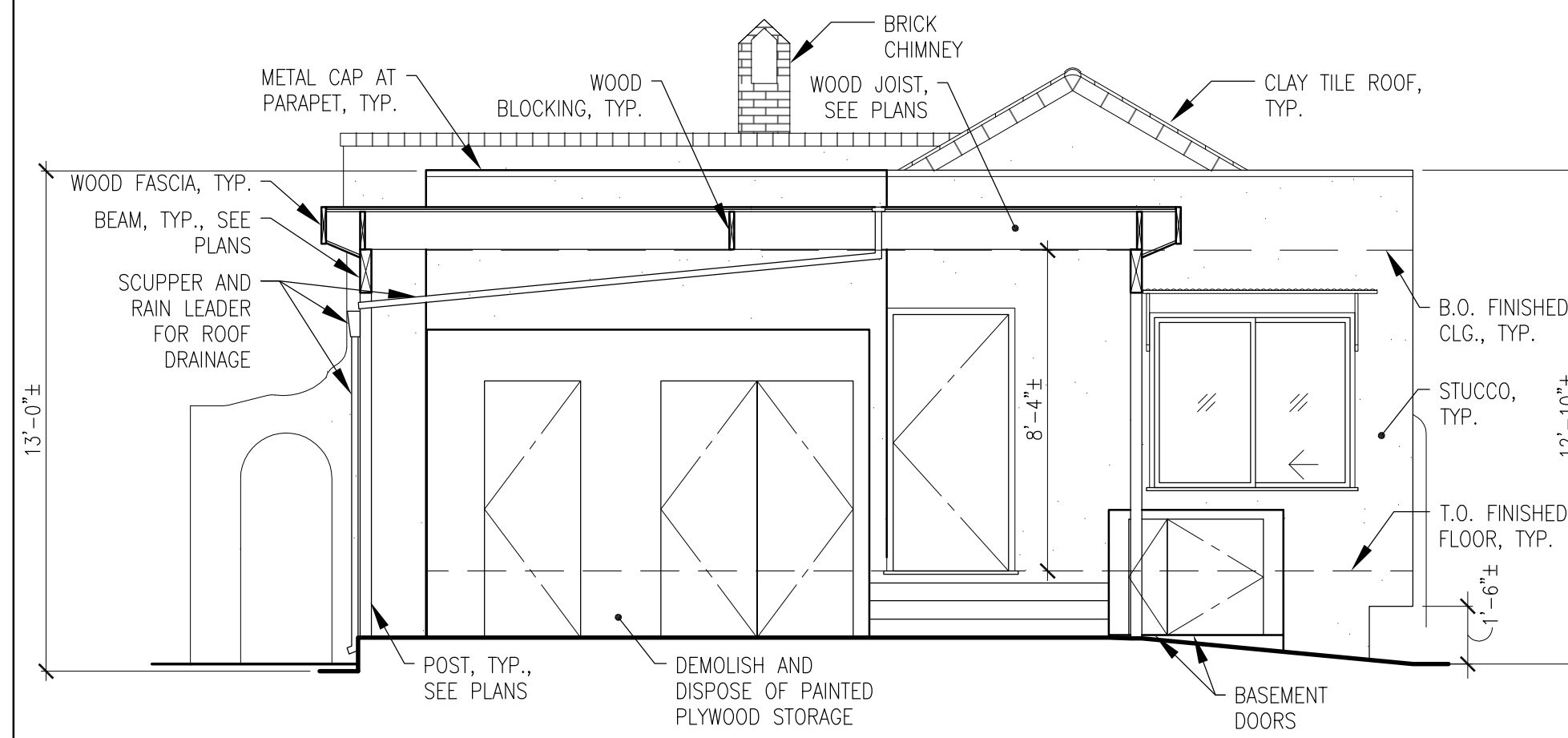
PROJECT NO.:
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CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
EXISTING/DEMOLITION
EXTERIOR ELEVATIONS

SHEET NO.:

A1.2
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24 NOT USED

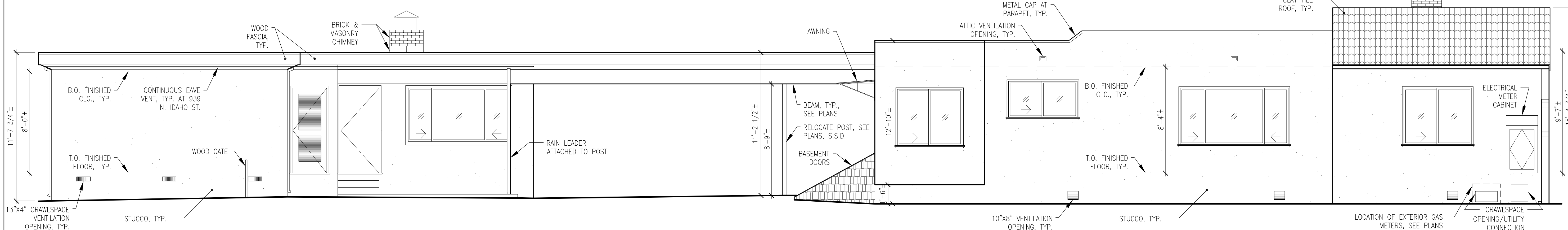
20 NOT USED

16 EXISTING/DEMOLITION WEST ELEVATION (937 N. IDAHO ST.)

1/4"=1'-0"

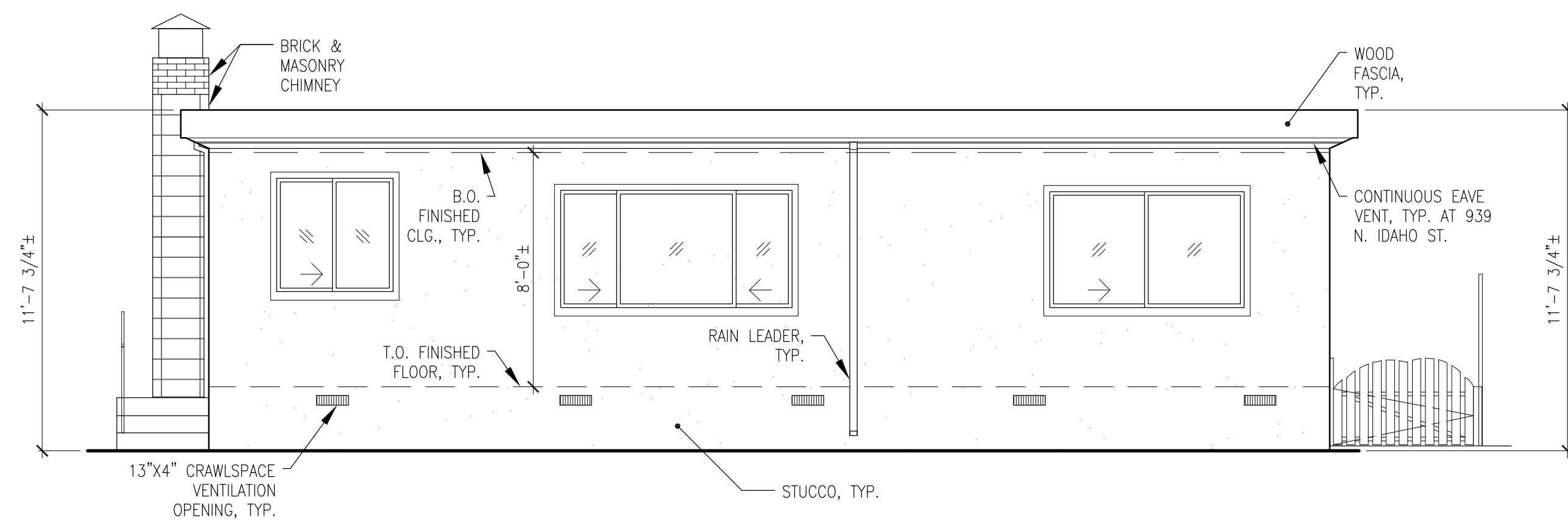
8 EXISTING/DEMOLITION EAST ELEVATION (937 N. IDAHO ST.)

1/4"=1'-0"



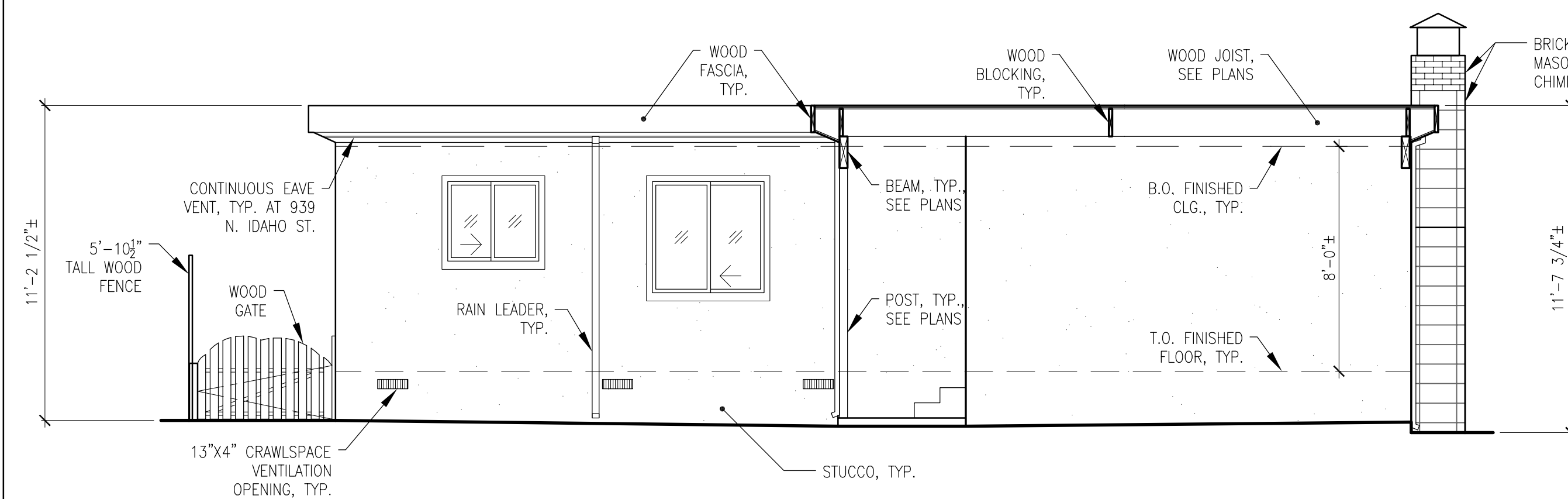
23 EXISTING/DEMOLITION SOUTH ELEVATION (937-939 N. IDAHO ST.)

1/4"=1'-0"



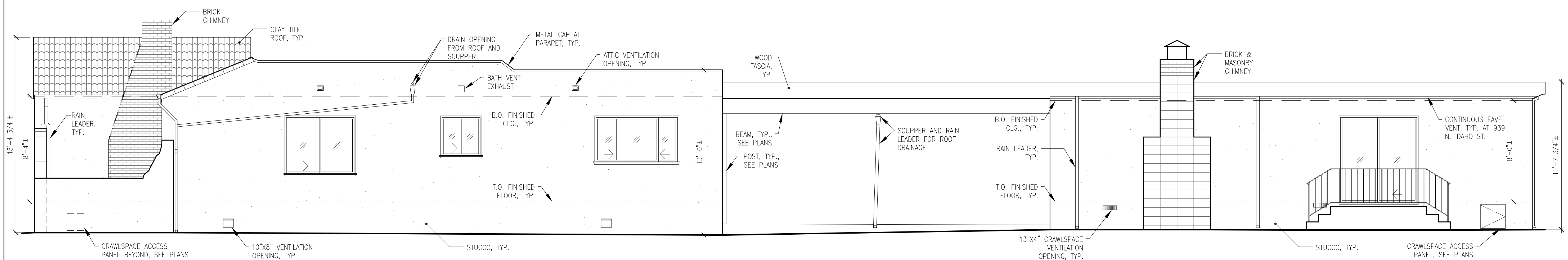
22 EXISTING/DEMOLITION WEST ELEVATION (939 N. IDAHO ST.)

1/4"=1'-0"



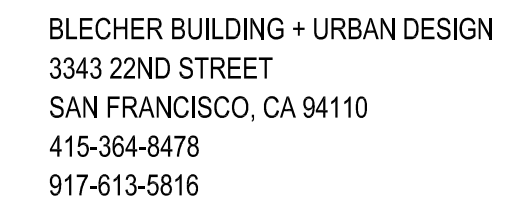
10 EXISTING/DEMOLITION EAST ELEVATION (939 N. IDAHO ST.)

1/4"=1'-0"



21 EXISTING/DEMOLITION NORTH ELEVATION (937-939 N. IDAHO ST.)

1/4"=1'-0"



PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

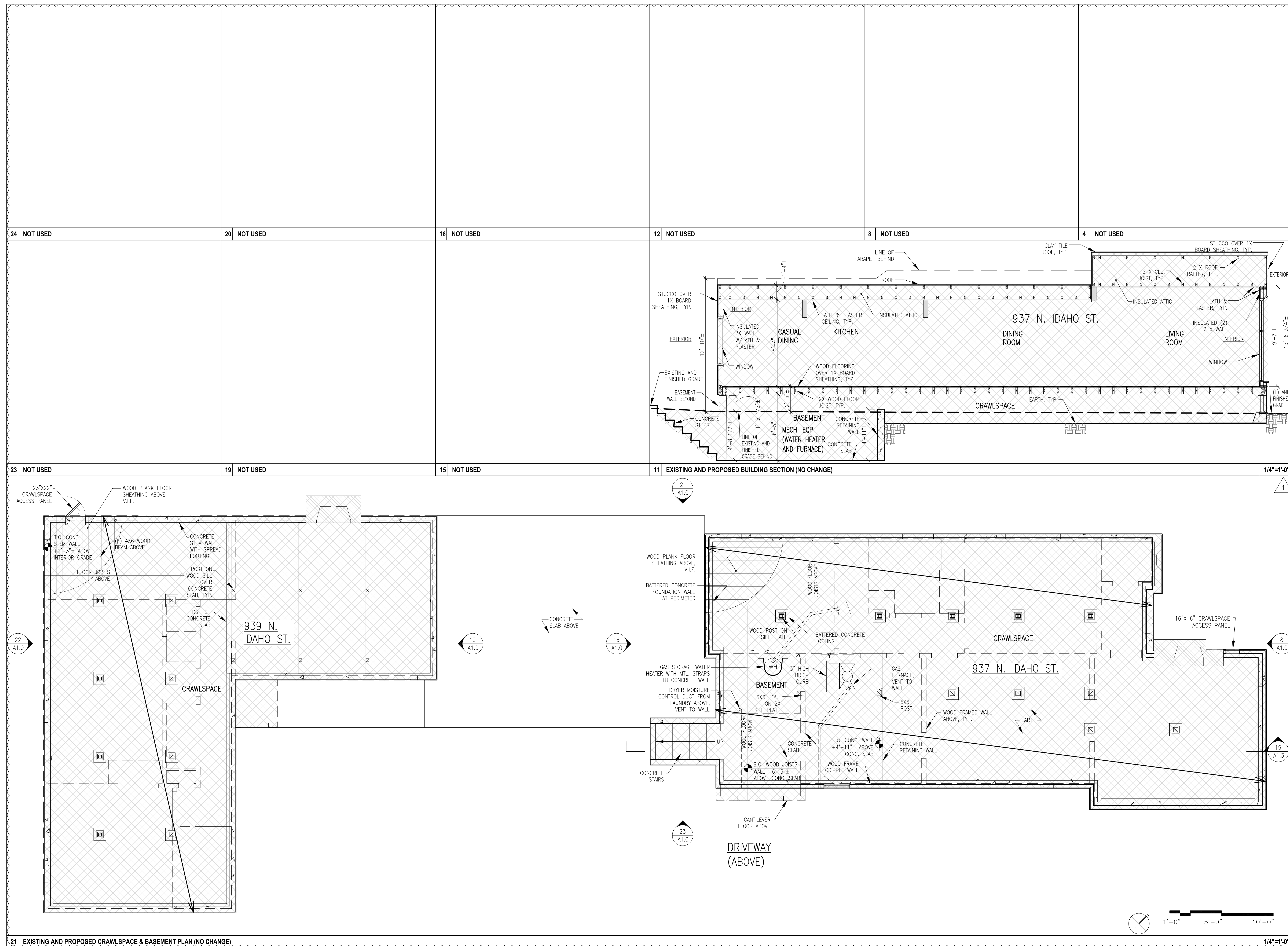
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DRAWN BY:	HEE
CHECKED BY:	
SCALE:	AS NOTED

DRAWING TITLE:
EXISTING BUILDING SECTION
EXISTING CRAWLSPACE &
BASEMENT PLAN

SHEET NO.:

A1.3

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PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

A2.0

$$1/4"=1'-0"$$

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**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE**
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.	DATE:	ISSUE:	BY:
5/4/2018	PRE-APP NEIGHBORHOOD INFO. MTG.	HEB	
6/25/2018	PERMIT SET	HEB	
1	12/28/2018	PLANNING COMMENT RESPONSE	HEB

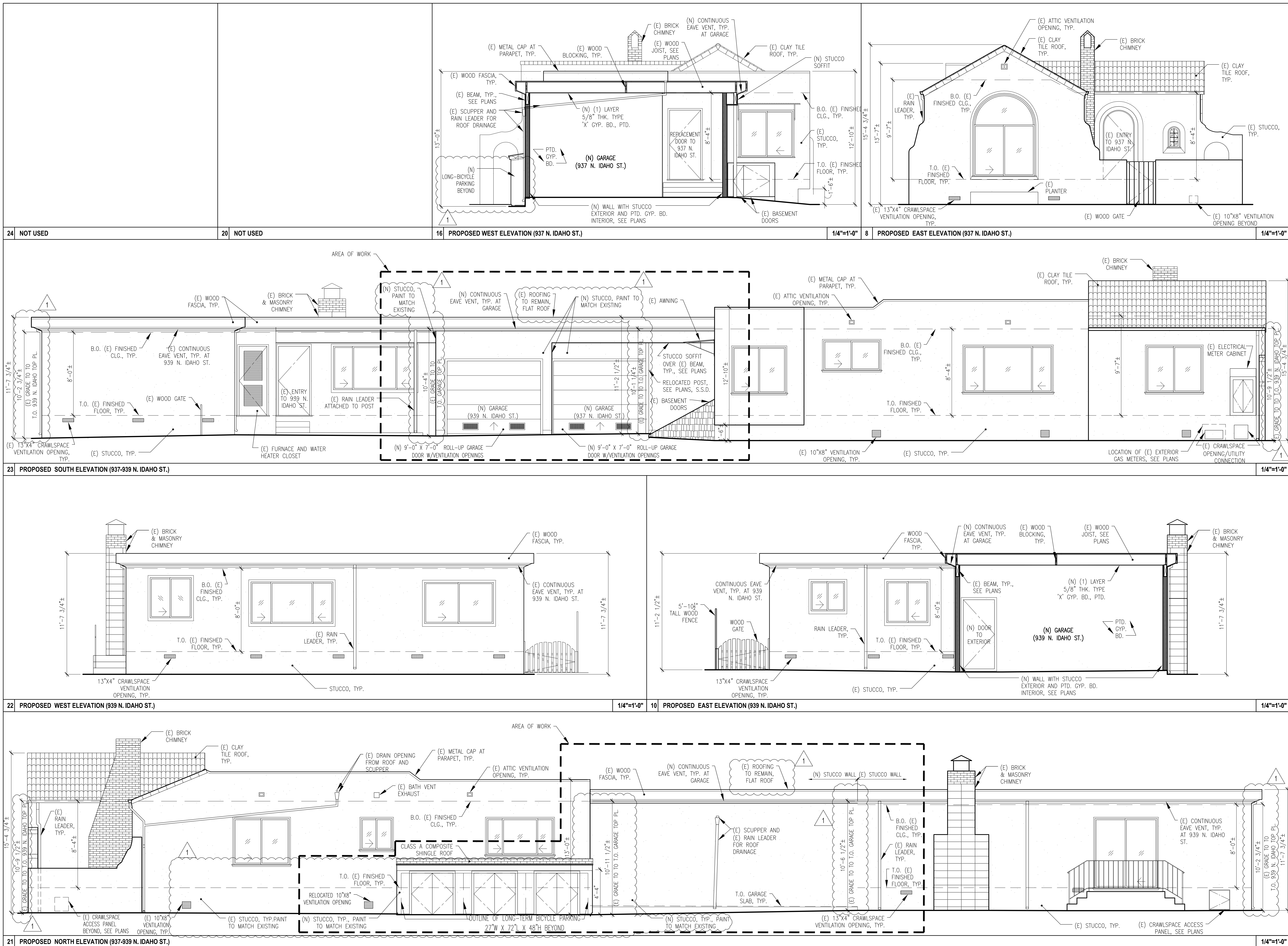
PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
**PROPOSED
EXTERIOR ELEVATIONS**

SHEET NO.:

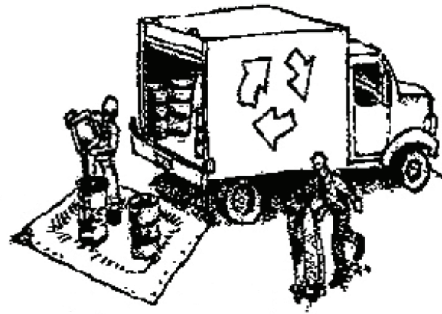
A3.0
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Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



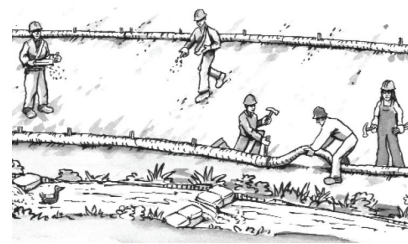
Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

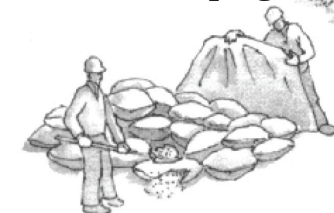
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



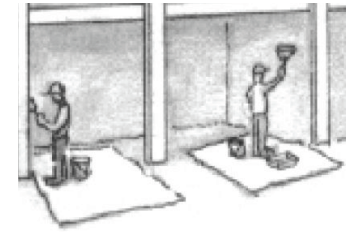
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

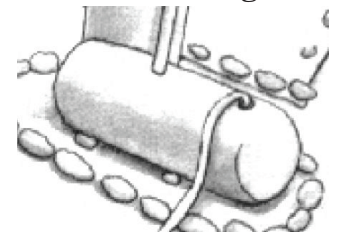
Painting & Paint Removal



Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

GENERAL NOTES

1. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE APPROVED PROJECT DRAWINGS, SPECIFICATIONS, 2016 CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE CODES OR REGULATIONS.
2. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF ALL OTHER DISCIPLINES, AND IF THERE ARE ANY DISCREPANCIES, CONTRACTOR SHALL CONTACT THE ENGINEER OR ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING. WORK DONE WITHOUT VERIFICATION OR CLARIFICATION SHALL BE ENTIRELY THE CONTRACTOR'S RESPONSIBILITY.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SELECTION OF CONSTRUCTION METHODS AND PROCEDURES, FOR THE SAFETY AND PRESERVATION OF THE BUILDING AND ITS CONTENTS DURING CONSTRUCTION, AND FOR PROVIDING A SAFE PLACE TO WORK.
4. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT ARE OF A SIMILAR CHARACTER TO THOSE WHICH ARE SHOWN OR NOTED, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED TO THOSE SHOWN AND/OR NOTED, SUBJECT TO APPROVAL BY THE ENGINEER.
5. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST AVAILABLE KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ENGINEER AND OR ARCHITECT OF ANY DISCREPANCIES.
6. DO NOT SCALE DRAWINGS.

FOUNDATION

1. ALL FOUNDATIONS SHALL BEAR ON APPROVED, FIRM AND UNDISTURBED NATIVE SOILS OR ENGINEERED FILLS AT DEPTHS SHOWN ON THE DRAWINGS. CONTACT ENGINEER PRIOR TO PROCEEDING IF SOIL ENCOUNTERED IS INADEQUATE OR QUESTIONABLE.
2. SILL BOLTS SHALL EXTEND 7" MINIMUM INTO CONCRETE.
3. HOLDOWN ANCHOR BOLTS SHALL EXTEND INTO CONCRETE THE DEPTH SPECIFIED BY THE MANUFACTURER, U.N.O.

CONCRETE

1. CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS AT 28 DAYS:
- FOUNDATION: 3000 PSI N.W.C *
 - SLAB: 3000 PSI N.W.C *
- * NOTE: SPECIAL INSPECTION NOT REQUIRED SINCE FC = 2500 PSI IS USED IN THE DESIGN.
2. ALL CEMENT SHALL CONFORM TO ASTM C-150, TYPE I.
3. AGGREGATE SHALL CONFORM TO ASTM C-33.
4. ALL REBAR, ANCHOR BOLTS, INSERTS, ETC. SHALL BE SECURELY TIED AND FIXED BEFORE POUR.
5. ALL CONCRETE SHALL BE REINFORCED UNLESS SPECIFICALLY NOTED 'NOT REINFORCED'.

REINFORCING STEEL

1. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, (INCLUDING SUPPLEMENT S-1), GRADE 60 FOR NO. 5 BARS AND LARGER AND GRADE 40 FOR NO. 4 BARS AND SMALLER. STEEL
2. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
- SURFACE POURED AGAINST GROUND 3"
 - FORMED SURFACES BELOW GRADE 2"
 - SURFACES EXPOSED TO WEATHEER 2"
3. ALL REINFORCEMENT SHALL BE BENT COLD. NO. 5 OR LARGER REINFORCING BARS SHALL NOT BE RE-BENT WITHOUT APPROVAL BY THE PROJECT ENGINEER.

LUMBER

1. ALL LUMBER FOR FRAMING MEMBERS SHALL BE DOUGLAS FIR (DF) OF THE FOLLOWING GRADE, U.N.O. (OR EQUIVALENT GRADE OF ANOTHE SPECIES):
- HEADERS & POSTS NO. 1 (DF1)
 - STUDS AND PLATES CONSTRUCTION
 - BLOCKING, FURRING AND MISC. NO. 2 (DF2)
2. ALL LUMBER TO BE GRADE STAMPED S-DRY (SURFACE DRY; MOISTURE CONTENT NOT GREATER THAN 19%).
3. ALL FRAMING EXPOSED TO WEATHERING SHALL BE PRESSURE TREATED OR WOOD OF NATURAL RESISTANCE TO DECAY, SUCH AS REDWOOD COMMERCIAL LUMBER.
4. ALL TIMBER PLACED AGAINST BRICK OR CONCRETE SHALL BE PRESSURE TREATED.
5. ALL WOOD FRAMING SHALL BE SET PLUMB AND LEVEL (U.N.O.) TO OBTAIN FULL SOLID BEARING, CUT TO FIT FOR SLOPED ELEMENTS OR WHERE FRAMED AGAINST. SHIMS SHALL BE AVOIDED, U.N.O.
6. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC., UNLESS SPECIFICALLY NOTED OR DETAILED.
7. ALL CONNECTORS TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
8. ALL FASTENERS USED ON PRESSURE TREATED WOOD TO BE STAINLESS STEEL OR GALVANIZED AS PER ASTM A153.

PLYWOOD

1. PLYWOOD PANELS SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U.S. PRODUCT STANDARD PS-1.
2. FOR PLYWOOD GRADES AND NAILING FOR SHEAR WALLS, SEE DRAWINGS.
3. PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL EDGES.

EPOXY

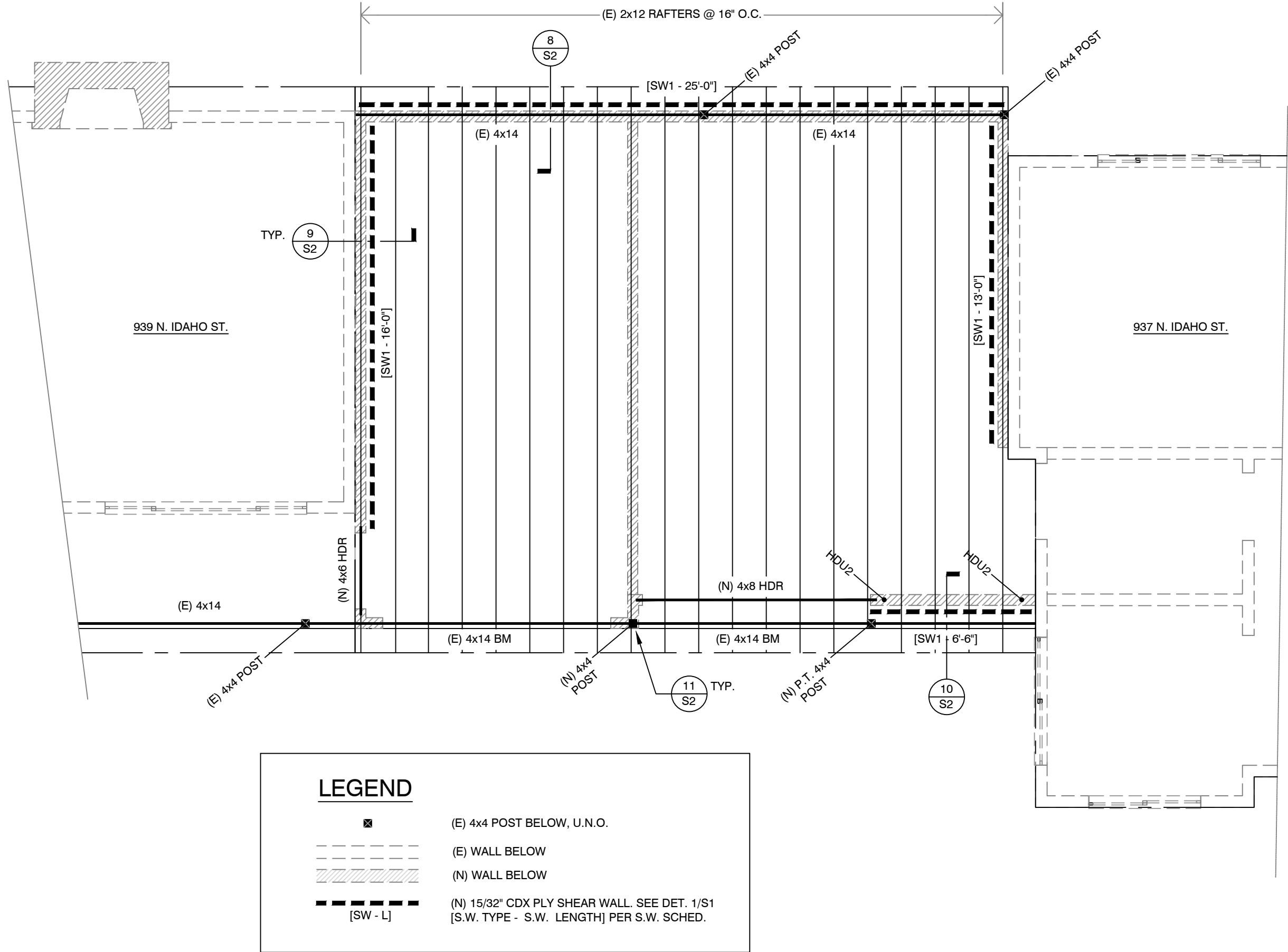
1. U.N.O. USE EPOXY SET-XP22 (BY SIMPSON) FOR THREADED RODS AND REBARS. INSTALL INTO EXISTING CONCRETE PER MANUFACTURER RECOMMENDATIONS. SURFACES TO RECEIVE EPOXY MUST BE CLEAN AND SOUND AND EPOXY SHOULD BE APPLIED TO DRY SURFACES.

SPECIAL INSPECTIONS

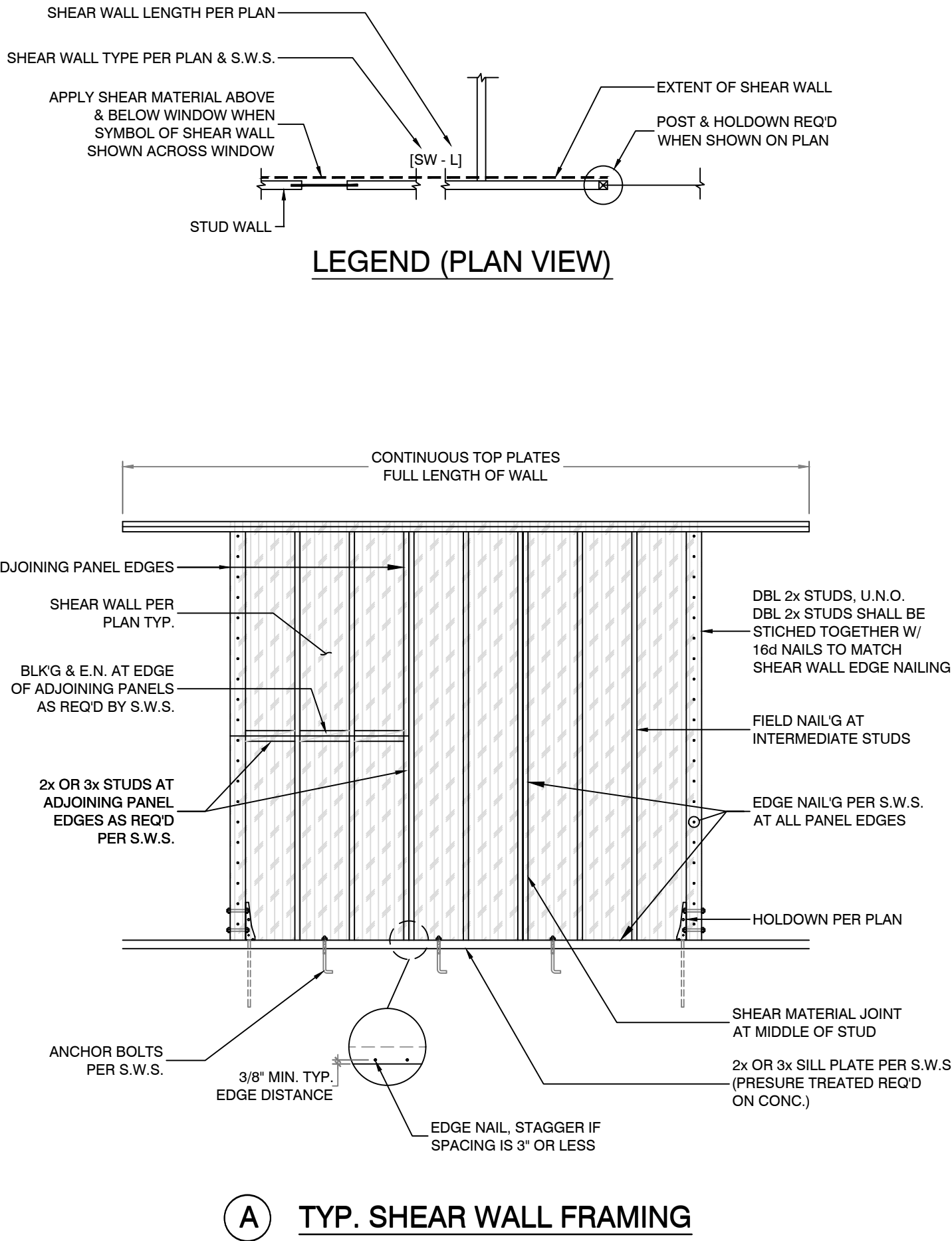
THE FOLLOWING WORK REQUIRES SPECIAL INSPECTION:

1. ANCHOR BOLT INSTALLATION
2. HOLDOWN INSTALLATION
3. SHEAR WALL AND SHEAR CLIP INSTALLATION
4. EPOXY SET BOLTS SHALL BE LOAD-TESTED AS FOLLOWS:
- SILL BOLTS: 25% OF THE BOLTS SHAL BE TORQUE TESTED TO 50 FT-LBS.
- HOLD DOWN RODS: 100% OF THE RODS SHALL BE PULL-TESTED FOR NOT LESS THAN 5 MINUTES AS FOLLOWS:
- HDU2: 3900 LBS

SHEAR WALL SCHEDULE (3,4,5,6,7)							
S.W. MARK	SHEAR WALL MATERIAL	EDGE NLG.	FIELD NLG.	SOLE PLATE NLG.	A35 CLIPS AT TOP PL.	ANCHOR BOLTS TO FDN.	DOUBLE STUDS NLG.
SW1	15/32" PLYWOOD CDX (1) AT ONE SIDE (1)	8d @ 6" O.C.	8d @ 12" O.C.	16d @ 6" O.C.	A35 @ 16" O.C.	1/2"Ø TITEN H.D. @ 16" O.C.	16d @ 6" O.C.
(1) PLYWOOD SHALL BE CDX, C-C, STRUCTURAL II OR BETTER. (2) FRAMING AT ADJOINING PANEL EDGES SHALL BE 3x OR WIDER AND NAILS SHALL BE STAGGERED WHEN 10d NAILS ARE SPACED 4" OR LESS ON CENTER. (3) ANCHOR BOLTS SHALL BE 1/2"Ø TITEN SCREWS H.D. EMBEDDED 3" MIN. INTO (E) CONCRETE (4) ALL NAILS SHALL BE COMMON NAILS OR GALVANIZED (HOT DIPPED). (5) 16d NAILS SHALL HAVE 2" MIN. PENETRATION INTO MAIN MEMBERS. (6) EDGE NAILING TO BE NOT LESS THAN 3/8" FROM PANEL EDGE. NAIL HEADS SHALL NOT PENETRATE PLYWOOD. REMOVE ALL SHINERS AND RE-DRIVE. (7) REPLACE ALL FRAMING MEMBERS SPLIT BY FASTENERS.							

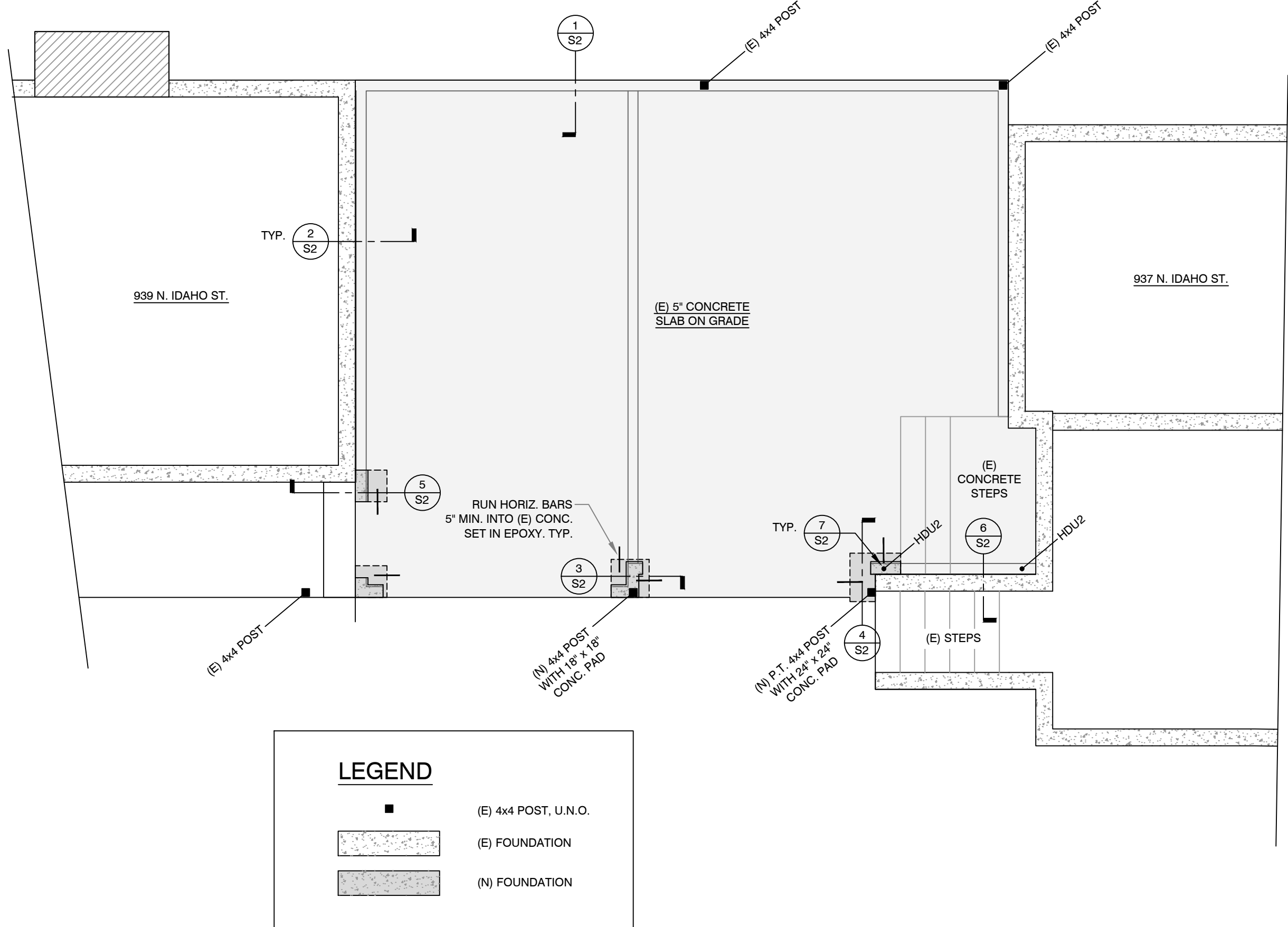


ROOF FRAMING PLAN - EXISTING AND PROPOSED



TYPICAL SHEAR WALL DETAIL

1



FOUNDATION PLAN - EXISTING AND PROPOSED

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PROPOSED GARAGE
937 - 939 N. IDAHO STREET
SAN MATEO, CA
OWNER: ROBERT ZLATIC

ENGINEER STAMP
REGISTERED PROFESSIONAL ENGINEER
TERMINO A RIVERA
46812
EXP. 6/30/19
CIVIL
STATE OF CALIFORNIA

REVISIONS AND RELEASES

JOB NO: PJ17093
DATE: 06.25.18
SCALE: 1"=1'

TITLE

GENERAL NOTES
FOUNDATION PLAN
AND ROOF
FRAMING PLAN

DRAWING

S1

NOT USED	16	NOT USED	12	SHEAR TRANSFER DETAIL	8	FOUNDATION DETAIL	4										
				<table><tr><th rowspan="2">HD</th><th rowspan="2">BOLT SIZE</th><th colspan="2">(N) FTG.</th></tr><tr><th>ANCHOR</th><th>Le min</th></tr><tr><td>HDU2</td><td>5/8"</td><td>SB5/8x24</td><td>18"</td></tr></table>	HD	BOLT SIZE	(N) FTG.		ANCHOR	Le min	HDU2	5/8"	SB5/8x24	18"			
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HDU2	5/8"	SB5/8x24	18"														
NOT USED	15	FRAMING DETAIL	11	TYPICAL HOLDOWN DETAIL	7	FOUNDATION DETAIL	3										
NOT USED	14	SHEAR TRANSFER DETAIL	10	SHEAR TRANSFER DETAIL	6	SHEAR TRANSFER DETAIL	2										
NOT USED	13	SHEAR TRANSFER DETAIL	9	FOUNDATION DETAIL	5	SHEAR TRANSFER DETAIL	1										

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TITLE

STRUCTURAL DETAILS

DRAWING

S2