

	DATUM POINT		WOOD POST
	SECTION REFERENCE SHEET NUMBER		EXISTING WALL/PARTITION - DIMENSION TO FACE OF FINISH, U.O.N.
	DETAIL REFERENCE SHEET NUMBER		NEW WALL/PARTITION 2 X 4 WOOD STUD FRAMING, DIMENSION TO FACE OF FRAMING, U.O.N.
	ELEVATION REFERENCE SHEET NUMBER		NEW WOOD STUD FURRING, DIMENSION TO FACE OF FRAMING, U.O.N.
	REVISION		NOT IN CONTRACT
	NOTATION		HOSE BIB
	DIMENSION		GAS CONNECTION
	ALIGN FINISH SURFACES		FENCELINE
	DISCONTINUITY		

1. ALL SURFACES DESIGNATED TO REMAIN SHALL BE PROTECTED TO ASSURE THAT THEY ARE NOT DAMAGED IN THE DEMOLITION PROCESS. ANY ITEMS THAT ARE DAMAGED SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. WHERE ITEMS HAVE TO BE REPLACED, MATCH EXISTING MATERIALS, WHERE INDICATED, TO MAXIMUM DEGREE POSSIBLE GIVEN PRESENT MATERIAL AVAILABILITY AND CRAFTSMANSHIP. AVOID UNNECESSARY CUTTING AND PATCHING.

2. DEMOLITION INFORMATION IS SHOWN TO FACILITATE THE REMODEL OF THIS BUILDING. ALL DEMOLITION WORK MUST BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS. COORDINATE AND VERIFY SCOPE OF ELECTRICAL AND MECHANICAL SYSTEM DEMOLITION WITH OWNER PRIOR TO COMMENCEMENT OF WORK.

3. IF CONTRACTOR DISCOVERS DISCREPANCIES, OMISSIONS OR HIDDEN CONDITIONS DIFFERING FROM DEMOLITION INFORMATION, GENERAL CONTRACTOR TO CONTACT DESIGNER BEFORE PROCEEDING WITH WORK.

4. PRIOR TO COMMENCEMENT OF DEMOLITION, CONTRACTOR TO SCHEDULE ON-SITE MEETING WITH DESIGNER TO REVIEW EXTENT OF DEMOLITION WORK.

5. ALL DISRUPTIONS IN THE WEATHER PROTECTIVE SURFACES DUE TO DEMOLITION SHALL BE ADEQUATELY PROTECTED TO PREVENT WEATHER INFILTRATION.

5. GENERAL CONTRACTOR TO PROVIDE SHORING AND BRACING AS REQUIRED.

6. IN ALL LOCATIONS OF NEW OPENINGS IN EXISTING WALLS, CAREFULLY CUT AT EDGE OF NEW OPENING PRIOR TO REMOVAL. ALL SAW CUTS ARE TO BE STRAIGHT AND NEAT. WHERE CORNERS ARE REQUIRED TO BE CUT, SAW CUTS SHALL MEET AT THE CORNER AND NOT EXTEND BEYOND THAT WHICH IS TO REMAIN. WHERE SAW CUTTING IS IMPOSSIBLE CAREFULLY CHISEL EXISTING MATERIAL TO PROVIDE A NEAT AND STRAIGHT OUTSIDE EDGE UPON REMOVAL. REFER TO ARCHITECTURAL DRAWINGS AND SCHEDULES FOR DIMENSIONS OF OPENINGS.

7. DURING CONSTRUCTION ALL FLOOR OPENINGS AND TRENCHES TO BE PROVIDED WITH TEMPORARY BARRIERS OR COVERS.

8. ALL WORK TO BE DONE IN ACCORDANCE WITH OSHA STANDARDS.

OWNER
ROBERT ZLATIC
937-939 N. IDAHO ST.
SAN MATEO, CA 94401

ARCHITECT
HOWARD BLECHER
BBUD
3343 22ND STREET
SAN FRANCISCO, CA 94110
TEL: 415-364-8478
TEL: 917-613-5816
EMAIL: howard.bbud@gmail.com

BUILDING DEPARTMENT
BUILDING DIVISION
COMMUNITY DEVELOPMENT DEPT.
CITY OF SAN MATEO
330 W. 20TH AVENUE
SAN MATEO, CA 94403
TEL: (650) 522-7172
FAX: (650) 522-7171
EMAIL: building.info@cityofsanmateo.org

ARCHITECTURAL & OTHER

A0.0 COVER SHEET 1

A0.1 AREA DIAGRAMS & CALCULATIONS 1

VESTING TENTATIVE PARCEL MAP BY OTHERS 1

RECORD BOUNDARY & TOPO SURVEY BY OTHERS 1

A1.0 SITE PLAN: PROPOSED OVER RECORD BOUNDARY & TOPO SURVEY WITH PARKING 1

A1.0.1 EROSION CONTROL & POLLUTION PREVENTION 1

A1.0.2 PROPOSED SIDEWALK, DRIVEWAY APPROACH AND STREET IMPROVEMENTS 1

A1.1 EXISTING/DEMOLITION PLANS EXISTING & PROPOSED ROOF PLAN

A1.2 EXISTING/DEMOLITION EXTERIOR ELEVATIONS

A1.3 EXISTING AND PROPOSED BUILDING SECTION EXISTING CRAWLSPACE & PROPOSED BASEMENT PLAN 1

A2.0 PROPOSED FLOOR PLANS 1

A3.0 PROPOSED EXTERIOR ELEVATIONS 1

SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM CONSTRUCTION BMP PLAN SHEET 1

STRUCTURAL

S1 GENERAL NOTES, FOUNDATION PLAN, AND 1ST FLOOR FRAMING PLAN

S2 STRUCTURAL DETAILS

24 SYMBOL LEGEND

&	AND	CONC.	CONCRETE	EMER.	EMERGENCY	HOR.	HORIZONTAL
@	AT	CONN.	CONNECTION	ENCL.	ENCLOSURE	HT.	HEIGHT
C	CENTERLINE	CONST.	CONSTRUCTION	EQ.	EQUAL	HM.	HOLLOW METAL
ACOUS.	ACOUSTICAL	CONT.	CONTINUOUS	E.Q.P.	EQUIPMENT	I.D.	INSIDE DIAMETER
ADJ.	ADJACENT	CONTR.	CONTRACTOR	EXT.	EXTERIOR	I.G.	INSULATED GLASS
A.F.F.	ABOVE FINISH FLOOR	CNTR.	COUNTER	E.W.	EACH WAY	INSUL.	INSULATION
A.F.G.	ABOVE FINISH GRADE	CTR.	CENTER	F.A.	FIRE ALARM	INT.	INTERIOR
A.H.U.	AIR HANDLING UNIT	CU.	CUBIC	F.D.	FLOOR DRAIN	LAM.	LAMINATE
AL.	ALUMINUM	D.F.	DOUGLAS FIR	F.F.	FINISH FACE	LAV.	LAVATORY
APPROX.	APPROXIMATE	DBL.	DOUBLE	F.R.P.	FIBER REINFORCED PANEL	LT.	LIGHT
ARCH.	ARCHITECTURAL	DEPT.	DEPARTMENT	F.T.	FIRE TREATED	K.E.C.	KITCHEN EQUIPMENT CONTR.
BD.	BOARD	DET.	DETAIL	FDN.	FOUNDATION	MAX.	MAXIMUM
BLDG.	BUILDING	DIA.	DIAMETER	FIN.	FINISH FLOOR	M.C.	MECHANICAL CONTRACTOR
BK.	BLOCK	DIM.	DIMENSION	FL.	FLOOR	MECH.	MECHANICAL
BLKG.	BLOCKING	DISP.	DISPENSER	FLUOR.	FLUORESCENT	MFR.	MANUFACTURER
BM.	BEAM	DN.	DOWN	FFRF.	FIRE PROOF	MGR.	MANAGER
B.O.	BOTTOM OF	D.S.	DOWN SPOUT	FT.	FOOT/ FEET	MIN.	MINIMUM
C.B.	CATCH BASIN	DWG.	DRAWING	FTG.	FOOTING	MISC.	MISCELLANEOUS
CEM.	CEMENT	DW	DISHWASHER	GA.	GAUGE	MTD.	MOUNTED
CER.	CERAMIC	(E)	EXISTING	GALV.	GALVANIZED	MTL.	METAL
CFM	CUBIC FEET PER MINUTE	EA.	EACH	G.B.	GRAB BAR	(N)	NEW
CL.	CLOSET	E.C.	ELECTRICAL CONTRACTOR	G.C.	GENERAL CONTRACTOR	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	EL.	ELEVATION	GL.	GLASS	N.I.K.E.C.	NOT IN KITCHEN EQUIP. CONTRACT
CLG.	CEILING	ELEC.	ELECTRICAL	GND.	GROUND	N.T.S.	NOT TO SCALE
COL.	COLUMN	ELEV.	ELEVATOR	GYP.	GYPSUM	O.C.	ON CENTER
				H.C.	HOLLOW CORE	O.D.	OUTSIDE DIAMETER

11 DEMOLITION NOTES

OPP.	OPPOSITE	SQ.	SQUARE
P.C.	PLUMBING CONTRACTOR	S&R	SHELF AND ROD
PL.	PLATE	S.S.	STAINLESS STEEL
PLAM	PLASTIC LAMINATE	S.S.D.	SEE STRUCTURAL DRAWINGS
PLAS.	PLASTER	STD.	STANDARD
PLYWD.	PLYWOOD	STL.	STEEL
PR.	PAIR	STR.	STRUCTURE
P.T.	PRESSURE TREATED	SUSP.	SUSPENDED
PTD.	PAINTED	T&B	TOP AND BOTTOM
R.	RADIUS	T.V.	TELEVISION
R.D.	ROOF DRAIN	T.O.	TOP OF
REF.	REFRIGERATOR	TBD	TO BE DETERMINED
REL.	RELOCATED	TRAN.	TRANSOM
REQ'D.	REQUIRED	TYP.	TYPICAL
RM.	ROOM	U.O.N.	UNLESS OTHERWISE NOTED
RWD.	REDWOOD	V.I.F.	VERIFY IN FIELD
R.O.W.	RIGHT OF WAY	VERT.	VERTICAL
R.W.L.	RAINWATER LEADER	W/	WITH
S.A.	SMOKE ALARM	W.C.	WATER CLOSET
SD.	SMOKE DETECTOR	WD.	WOOD
S.C.	SOLID CORE	W/O	WITHOUT
SCHED.	SCHEDULE	W.R.	WATER RESISTANT
SECT.	SECTION	WT.	WEIGHT
SHT.	SHEET	WWM	WELDED WIRE MESH
SIM.	SIMILAR	YD.	YARD
SPEC.	SPECIFICATION		

APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED.

2016 Edition of the California Building Standards Code and California Code of Regulations, Title 24

Part 1: California Administrative Code
Part 2: California Building Code
Part 2.5: California Residential Code
Part 3: Electrical Code
Part 4: California Mechanical Code
Part 5: California Plumbing Code
Part 6: California Energy Code
Part 7: Currently Vacant
Part 8: California Historical Building Code
Part 9: California Fire Code
Part 10: California Existing Building Code
Part 11: California Green Building Standards Code (CALGreen)
Part 12: California Referenced Standards Code

8 PROJECT DIRECTORY

7 NOT USED

3 DRAWING INDEX

23 ABBREVIATIONS

11 CODE REVIEW INFORMATION

1. THE INTENT OF THESE DOCUMENTS IS TO SHOW ALL ITEMS NECESSARY TO COMPLETE THE PROJECT. FOR ITEMS, METHODS AND/OR MATERIALS NOT SHOWN, THE MINIMUM REQUIREMENTS OF THE CODES OUTLINED ON A/O.0 SHALL GOVERN.

2. ALL WORK AND CONSTRUCTION SHALL COMPLY WITH ALL REGULATIONS AND SAFETY REQUIREMENTS.

3. WHEN CONTRACTOR ACCEPTS DELIVERY OF ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOSS AND DAMAGE TO THESE ITEMS.

4. "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, DETAILS NOTED "TYP." ARE NOT KEYED IN EVERY LOCATION.

5. "SIM." SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION.

6. CONTRACTOR SHALL INSPECT EXISTING CONDITIONS, WHICH AFFECT THE WORK SHOWN, AND SHALL NOTIFY DESIGNER OF ANY EXISTING CONDITIONS WHICH CONFLICT WITH OR DIFFER FROM THE NEW WORK SHOWN. CONTRACTOR SHALL NOT PROCEED WITH THE WORK UNTIL THESE CONFLICTS AND DIFFERENCES ARE RESOLVED.

7. THE CONTRACTOR IS COMPLETELY RESPONSIBLE FOR THE CONDUCT OF THE WORK, INCLUDING CONSTRUCTION METHODS AND PROCEDURES; SITE SAFETY; AND METHODS, DESIGN, AND MATERIALS FOR TEMPORARY VERTICAL AND LATERAL SUPPORT OF EXISTING AND NEW STRUCTURES.

8. THE CONTRACTOR SHALL VERIFY DIMENSIONS.

9. DO NOT SCALE DRAWINGS. IN CASE OF CONFLICT, NOTIFY THE DESIGNER. FLOOR PLAN BY DESIGNER SUPERCEDES OTHER PLANS. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES.

10. INTERIOR WALL DIMENSIONS ARE TO THE FACE OF STUD U.O.N. COLUMN DIMENSIONS ARE TO CENTERLINE.

11. THE WORK SHALL COMPLY WITH APPLICABLE BUILDING CODES AND ORDINANCES.

12. CONTRACTOR RETAINS POSSESSION OF WASTE MATERIALS AND IS RESPONSIBLE FOR REMOVAL FROM SITE AND DISPOSAL IN A TIMELY FASHION.

13. CONTRACTOR SHALL VERIFY ALLOWABLE WORK HOURS FOR DELIVERIES AND WASTE REMOVAL.

14. FINISH MATERIALS SHALL BE STORED AND ACCLIMATED TO THE PROPER ENCLOSED CONDITIONS AS SPECIFIED BY THE MANUFACTURER.

15. ALL QUANTITIES MUST BE VERIFIED IN FIELD.

7 NOT USED

DEVELOPMENT PROJECT DATA INFORMATION
Site Address: 937-939 N. IDAHO ST., SAN MATEO, CA 94401
APN: 029-313-080
Zoning Classification: R3 DISTRICT-MULTIPLE FAMILY DWELLINGS (MEDIUM DENSITY)
Lot Size (Sq. Ft.): 7646 SQ. FT.
Permitted Floor Area Ratio: 0.85
Maximum Permitted Floor Area (Sq. Ft.): 6499 SQ. FT.

ZONING REQUIREMENTS - SEE SHT. A0.1 FOR AREA DIAGRAMS AND CALCULATIONS

Existing Interior Floor Area to be Remodeled: 0 SQ. FT.

SITE
List of All Heritage Trees on Site including Species and Size: NOT APPLICABLE

CONSTRUCTION TYPE: V-B
OCCUPANCY GROUP: RESIDENTIAL (R-3)

SCOPE OF WORK:
AREA OF WORK: BUILDING: APPROX. 536.0 SQ. FT. (GARAGE & BICYCLE PARKING)
SITE: APPROX. 627.3 SQ. FT. (SIDEWALK, CURB AND GUTTER, DRIVEWAY APPROACH)

CONVERT THE TWO (2) EXISTING DWELLING UNITS TO RESIDENTIAL CONDOMINIUMS AND ENCLOSE THE EXISTING COVERED CARPORT WITH EXTERIOR WALLS FOR USE BY BOTH DWELLING UNITS. REMOVE AND REPLACE ALL SIDEWALK, CURB AND GUTTER ALONG THE FRONTAGE OF THE PROPERTY. REMOVE AND REPLACE DRIVEWAY APPROACH.

3 DRAWING INDEX

NO.:	DATE:	ISSUE:	BY:
6/25/2018	PERMIT SET		HEB
1	12/28/2018	PLANNING COMMENT RESPONSE	HEB

PROJECT NO.:
CADD FILE:
DRAWN BY:
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
COVER SHEET

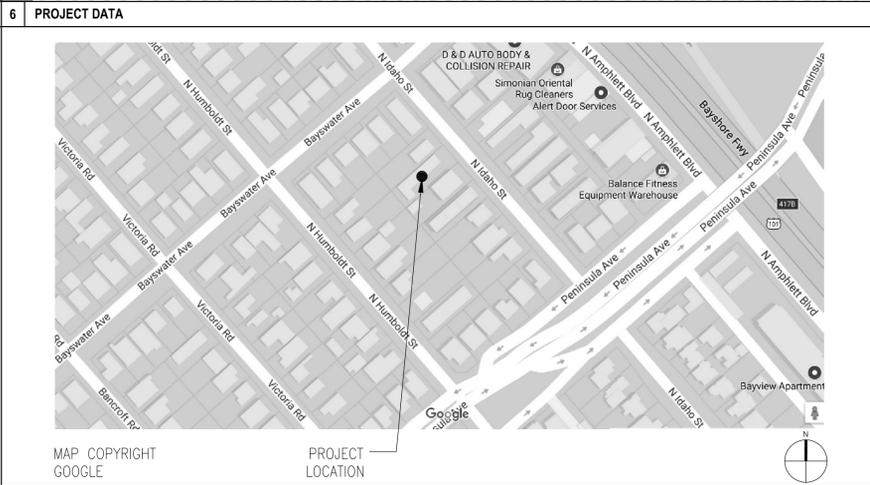
SHEET NO.:

22 NOT USED

18 NOT USED

14 GENERAL NOTES

9 NOT USED



BLECHER BUILDING + URBAN DESIGN
3343 22ND STREET
SAN FRANCISCO, CA 94110
415-364-8478
917-613-5816

**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080**

NO. DATE ISSUE BY
6/25/2018 PERMIT SET HEB
1 12/28/2018 PLANNING COMMENT RESPONSE HEB

PROJECT NO.
CADD FILE
DRAWN BY
CHECKED BY
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
COVER SHEET

SHEET NO.:

A0.0
© BLECHER BUILDING + URBAN DESIGN



BBUD

BLECHER BUILDING + URBAN DESIGN
3343 22ND STREET
SAN FRANCISCO, CA 94110
415-364-8478
917-613-5816

**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080**

NO.: DATE: ISSUE: BY:
1 12/28/2018 PLANNING COMMENT RESPONSE HEB

PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

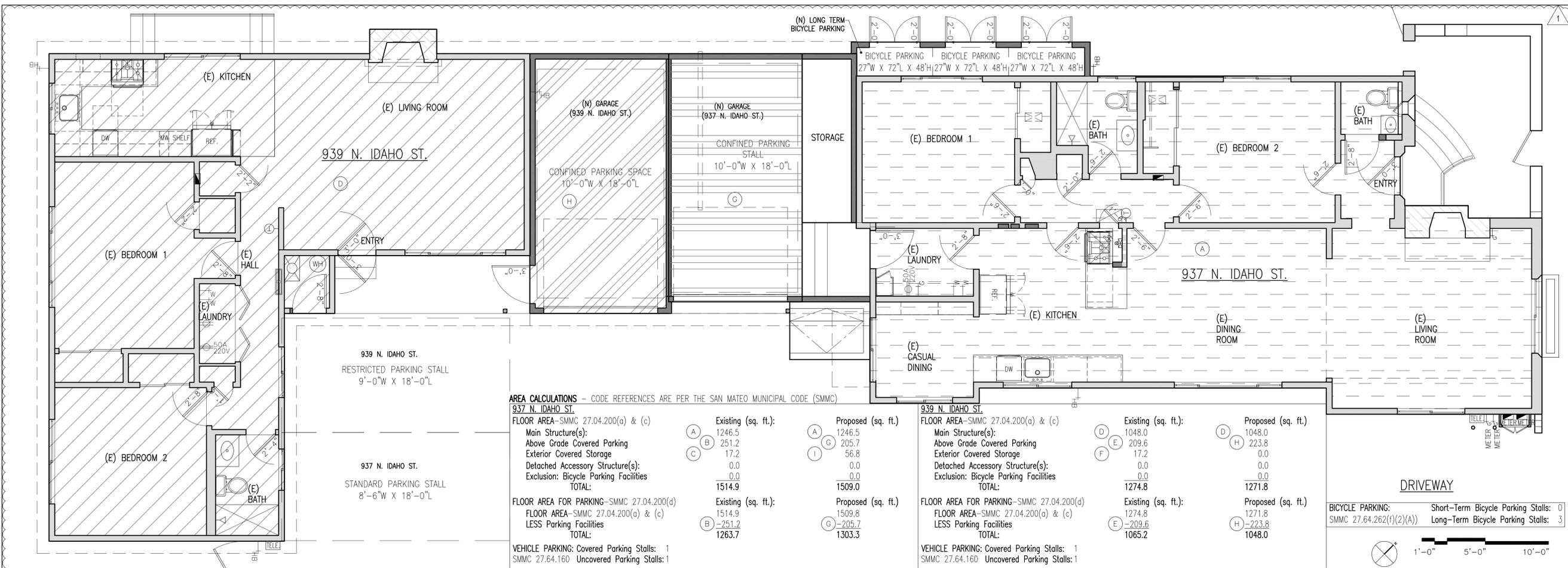
SEAL:

DRAWING TITLE:
**AREA DIAGRAMS &
CALCULATIONS**

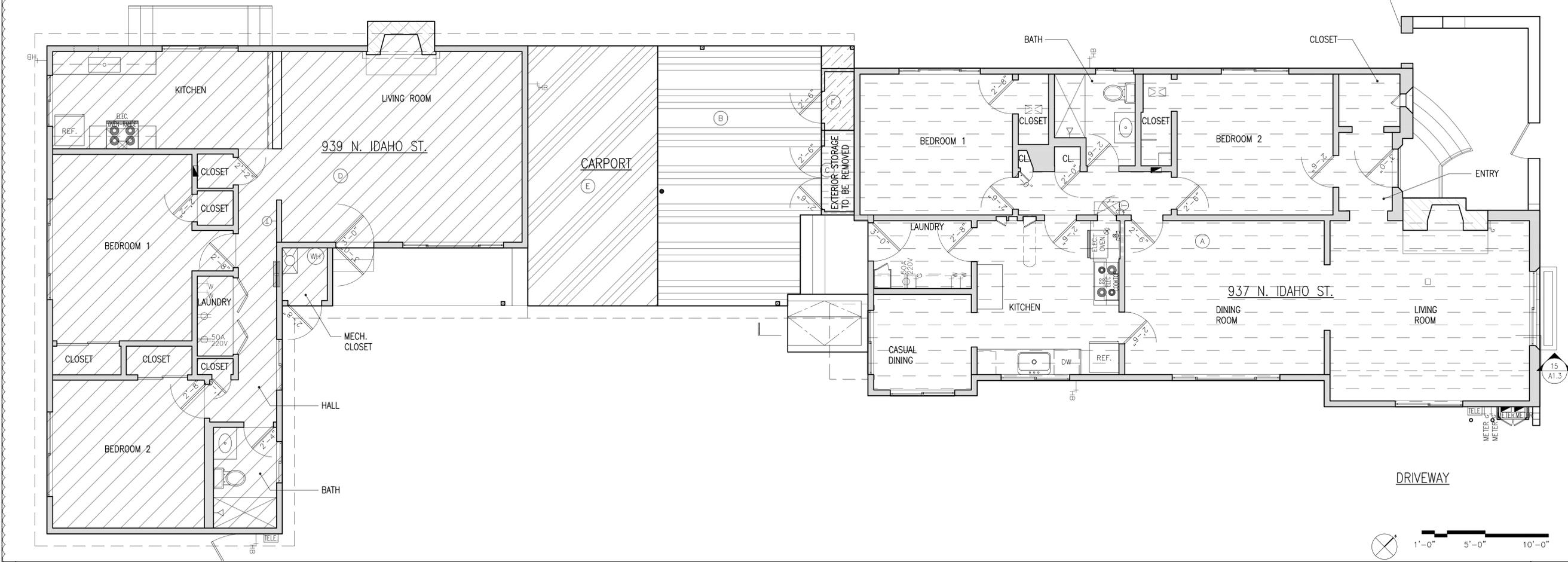
SHEET NO.:

A0.1

© BLECHER BUILDING + URBAN DESIGN



21 PROPOSED GROUND FLOOR PLAN AREA DIAGRAM 1/4"=1'-0"



21 EXISTING GROUND FLOOR PLAN AREA DIAGRAM 1/4"=1'-0"

OWNER/APPLICANT

ROBERT ZLATIC
505 BURLINGAME AVE.
BURLINGAME, CA 94010
650 347-2586

CIVIL ENGINEER

APEX CIVIL ENGINEERING & LAND SURVEYING
817 ARNOLD DRIVE, SUITE 50
MARTINEZ, CA 94553
(925) 476-8499

GENERAL

ASSESSORS PARCEL NO(S): 029-313-080
PROJECT ADDRESS: 937-939 N. IDAHO STREET
SAN MATEO, CA
TOTAL GROSS AREA: 7,646 SF
EXISTING USE: RESIDENTIAL
PROPOSED USE: RESIDENTIAL
EXISTING ZONING: R3-MULTIPLE FAMILY DWELLINGS
PROPOSED ZONING: R3-MULTIPLE FAMILY DWELLINGS
NUMBER OF UNITS: 2 CONDOMINIUM UNITS
FEMA FLOOD DESIGNATION: ZONE "X", PANEL 06081C0154F (7/16/15)

FACILITIES

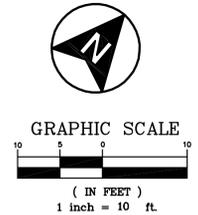
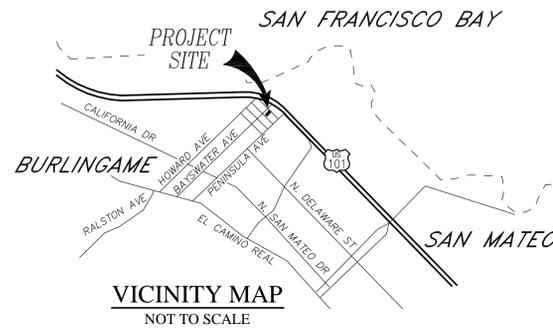
WATER: CAL WATER
SEWER: CITY OF SAN MATEO
STORM DRAIN: CITY OF SAN MATEO
GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
TELEPHONE: AT&T
CABLE: COMCAST
FIRE PROTECTION: CITY OF SAN MATEO

BENCHMARK

ELEVATIONS ARE BASED ON USGS BENCHMARK
TIDAL 1, BRASS DISC IN TOP OF RETAINING
WALL COYOTE POINT MARINA NAVD 88
ELEV=15.60'

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE RIGHT OF WAY
LINE OF NORTH IDAHO STREET (FORMERLY 'I'
STREET) AS SHOWN ON THE THE MAP OF
BAYSHORE HIGHWAY TRACT (14 M 43) TAKEN
AS SOUTH 41°23'45" EAST



**VESTING TENTATIVE
PARCEL MAP NO. 18-042
FOR CONDOMINIUM PURPOSES, FOR
NOT TO EXCEED TWO (2)
RESIDENTIAL CONDOMINIUM UNITS**

BEING ALL OF LOT 17 AS SHOWN ON THE MAP OF
BAYSHORE HIGHWAY TRACT FILED IN BOOK 14 OF
MAPS PAGE 43 SAN MATEO COUNTY RECORDS

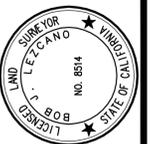
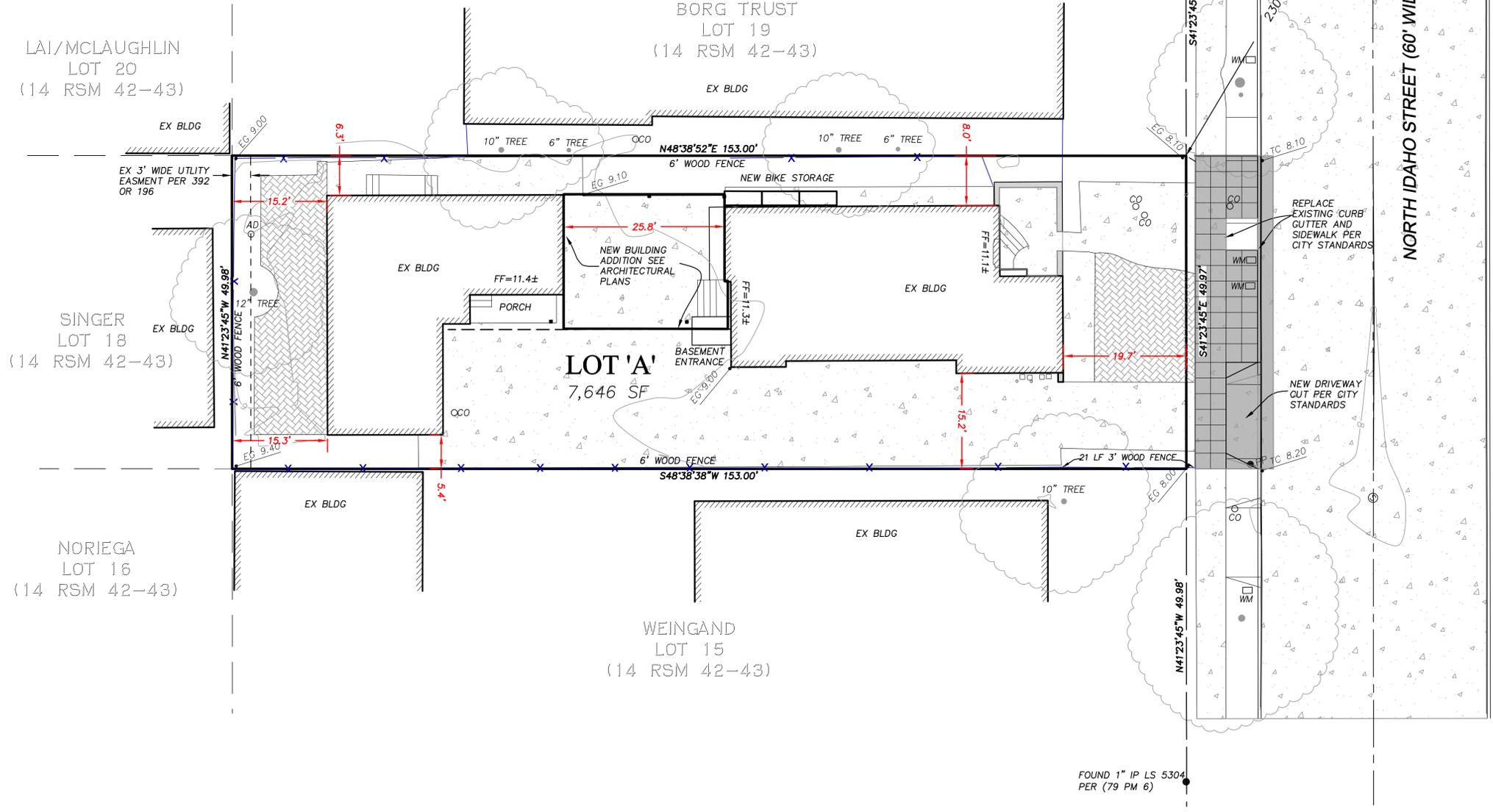
CITY OF SAN MATEO
COUNTY OF SAN MATEO
STATE OF CALIFORNIA

LEGEND

- | EXISTING | | ITEM |
|-----------|-----------|--|
| --- | --- | BOUNDARY |
| --- | --- | R/W |
| --- | --- | ADJACENT PROPERTY LINE |
| --- | --- | CENTERLINE |
| --- | --- | BUILDING LINE |
| X | X | FENCE LINE |
| EX W | EX W | EX WATER LINE |
| EX SS | EX SS | EX SEWER LINE |
| 75 | 75 | INDEX CONTOUR |
| 71 | 71 | INTERMEDIATE CONTOURS |
| [Pattern] | [Pattern] | PAVEMENT |
| [Pattern] | [Pattern] | CONCRETE |
| WM | WM | WATER METER |
| [Symbol] | [Symbol] | STREETLIGHT |
| [Symbol] | [Symbol] | FOUND MONUMENT |
| ES | ES | ELECTRICAL SERVICE |
| GM | GM | GAS METER |
| CO | CO | SEWER CLEANOUT |
| AD | AD | AREA DRAIN |
| FF | FF | FINISH FLOOR |
| GL | GL | GARAGE LIP |
| EG | EG | EXISTING GRADE |
| TC | TC | TOP OF CURB |
| [Symbol] | [Symbol] | TREE TRUNK/APPROX CANOPY |
| [Symbol] | [Symbol] | TREE DIAMETERS AND SPECIES SHOWN ARE APPROXIMATE, CONSULT AN ARBORIST FOR ACCURATE BOTANICAL INFORMATION |

NOTES

NO NEW STREETS ARE PROPOSED.
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES DURING CONSTRUCTION.
DATE OF TOPOGRAPHIC SURVEY WAS NOVEMBER 2017



817 Arnold Drive Ste. 50
Martinez, CA 94553
Ph: (925) 476-8499
www.apexce.net



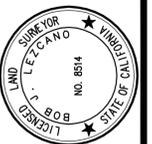
NO.	REVISIONS	BY	APP	DATE

VESTING TENTATIVE
PARCEL MAP NO 18-042
937-939 NORTH IDAHO STREET

RECORD BOUNDARY AND TOPOGRAPHIC SURVEY

937 NORTH IDAHO STREET

CITY OF SAN MATEO
 COUNTY OF SAN MATEO
 STATE OF CALIFORNIA



817 Arnold Drive Ste. 50
 Martinez, CA 94553
 Ph: (925) 476-8499
 www.apexce.net



LEGEND

- | EXISTING | ITEM |
|----------|------------------------------|
| | BOUNDARY |
| | R/W |
| | ADJACENT PROPERTY LINE |
| | CENTERLINE |
| | BUILDING LINE |
| | FENCE LINE |
| | INDEX CONTOUR |
| | INTERMEDIATE CONTOURS |
| | PAVEMENT |
| | CONCRETE |
| | WATER METER |
| | POWER POLE |
| | STREETLIGHT |
| | FOUND SURVEY MARKER AS SHOWN |
| | ELECTRICAL SERVICE |
| | GAS METER |
| | SEWER CLEANOUT |
| | AREA DRAIN |
| | FINISH FLOOR |
| | GARAGE LIP |

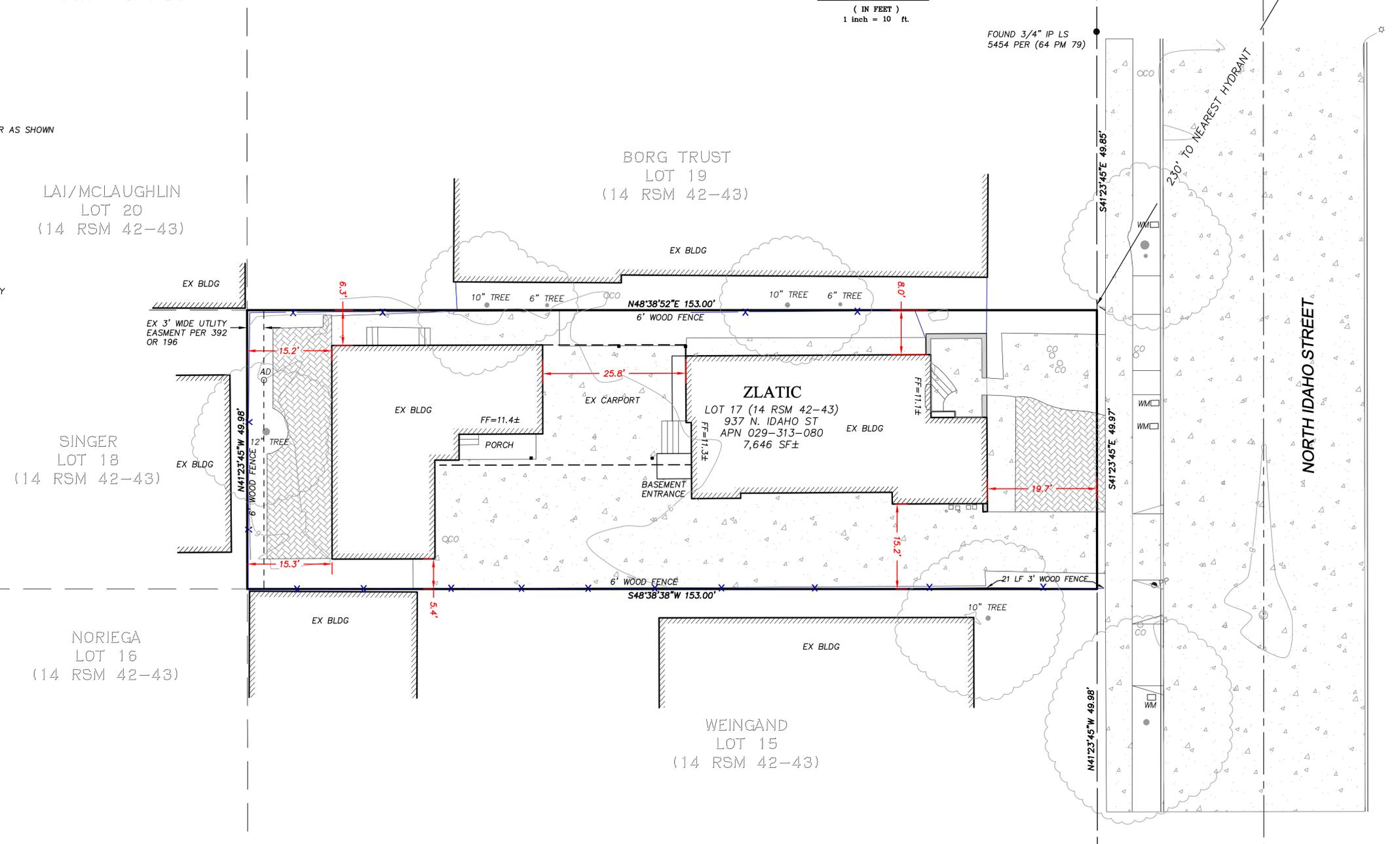
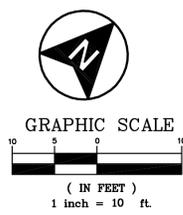
BENCHMARK

ELEVATIONS ARE BASED ON USGS BENCHMARK
 TIDAL 1, BRASS DISC IN TOP OF RETAINING
 WALL COYOTE POINT MARINA NAVD 88
 ELEV=15.60'

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE RIGHT OF WAY
 LINE OF NORTH IDAHO STREET (FORMERLY 'I'
 STREET) AS SHOWN ON THE THE MAP OF
 BAYSHORE HIGHWAY TRACT (14 M 42) TAKEN
 AS SOUTH 41'23'45" EAST

TREE TRUNK/APPROX CANOPY
 TREE DIAMETERS AND SPECIES
 SHOWN ARE APPROXIMATE,
 CONSULT AN ARBORIST FOR
 ACCURATE BOTANICAL
 INFORMATION



FOUND 3/4" IP LS
 5454 PER (64 PM 79)

FOUND 1" IP LS 5304
 PER (79 PM 6)

NO.	REVISIONS	BY	APP	DATE

RECORD BOUNDARY & TOPOGRAPHIC SURVEY
 937 N. IDAHO STREET, SAN MATEO, CA

SHEET
 1 OF 1
 DATE
 2-14-19
 PROJ#17107

RECORD BOUNDARY AND TOPOGRAPHIC SURVEY

937 NORTH IDAHO STREET

CITY OF SAN MATEO
COUNTY OF SAN MATEO
STATE OF CALIFORNIA

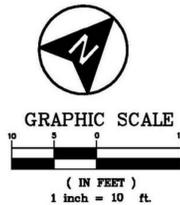
BENCHMARK

ELEVATIONS ARE BASED ON USGS BENCHMARK
TIDAL 1, BRASS DISC IN TOP OF RETAINING
WALL COYOTE POINT MARINA NAVD 88
ELEV=15.60'

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE RIGHT OF WAY
LINE OF NORTH IDAHO STREET (FORMERLY 1'
STREET) AS SHOWN ON THE MAP OF
BAYSHORE HIGHWAY TRACT (14 M 42) TAKEN
AS SOUTH 41°23'45" EAST

SITE PLAN NOTES:
1. DIMENSIONS ARE TO FINISHED FACE WHERE APPLICABLE
2. PER CBC §1804.3 SITE GRADING, THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET (3048 MM) OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.
EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).



A1/MCLAUGHLIN
LOT 20
4 RSM 42-43)

SINGER
LOT 18
RSM 42-43)

NORIEGA
LOT 16
1 RSM 42-43)

BORG TRUST
LOT 19
(14 RSM 42-43)

THREE (3) LONG-TERM BICYCLE
STALLS 27"W X 72"L X 48' TALL
EX BLDG

ZLATIC
LOT 17 (14 RSM 42-43)
937 N. IDAHO ST
APN 029-313-080
7,646 SF±

WEINGAND
LOT 15
(14 RSM 42-43)

SYMBOL LEGEND:
[Hatched Box] TRIANGULAR AREA OF PRIVATE PROPERTY PER SAN MATEO MUNICIPAL CODE SECTION 27.84.010(b)(2).
[Dashed Line] SEDIMENT ROLL SEE DTL. 12/A1.0.1

EROSION CONTROL NOTES:

1. SEE SHEET A1.0.1

DEMOLITION NOTES:

- ALL SURFACES DESIGNATED TO REMAIN SHALL BE PROTECTED TO ASSURE THAT THEY ARE NOT DAMAGED DURING DEMOLITION. ANY ITEMS DAMAGED SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER, WHERE ITEMS HAVE TO BE REPLACED, MATCH EXISTING MATERIALS TO MAXIMUM DEGREE POSSIBLE GIVEN PRESENT MATERIAL AVAILABILITY AND CRAFTSMANSHIP. AVOID UNNECESSARY CUTTING AND PATCHING.
- DEMOLITION INFORMATION IS SHOWN TO FACILITATE PROPOSED WORK. ALL DEMOLITION MUST BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS. COORDINATE AND VERIFY SCOPE OF ELECTRICAL AND MECHANICAL SYSTEM DEMOLITION WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
- IF CONTRACTOR DISCOVERS DISCREPANCIES, OMISSIONS OR HIDDEN CONDITIONS DIFFERING FROM DEMOLITION INFORMATION, GENERAL CONTRACTOR TO CONTACT DESIGNER BEFORE PROCEEDING WITH WORK.
- PRIOR TO DEMOLITION, CONTRACTOR TO SCHEDULE ON-SITE MEETING WITH DESIGNER TO REVIEW EXTENT OF DEMOLITION WORK. PRIOR TO CUTTING OF OPENINGS IN EXISTING WALLS, CONTRACTOR TO SCHEDULE ON-SITE MEETING WITH DESIGNER TO REVIEW PROCEDURES.

- DISRUPTIONS IN THE WEATHER PROTECTIVE SURFACES DUE TO DEMOLITION SHALL BE ADEQUATELY PROTECTED TO PREVENT WEATHER INFILTRATION.
- GENERAL CONTRACTOR TO PROVIDE SHORING AND BRACING AS REQUIRED.
- IN ALL LOCATIONS OF NEW OPENINGS IN EXISTING WALLS, CAREFULLY CUT AT EDGE OF NEW OPENING PRIOR TO REMOVAL. ALL SAW CUTS ARE TO BE STRAIGHT AND NEAT. WHERE CORNERS ARE REQUIRED TO BE CUT, SAW CUTS SHALL MEET AT THE CORNER AND NOT EXTEND BEYOND THAT WHICH IS TO REMAIN. WHERE SAW CUTTING IS IMPOSSIBLE CAREFULLY CHISEL EXISTING MATERIAL TO PROVIDE A NEAT AND STRAIGHT OUTSIDE EDGE UPON REMOVAL. REFER TO ARCHITECTURAL DRAWINGS AND SCHEDULES FOR DIMENSIONS OF OPENINGS.
- DURING CONSTRUCTION ALL FLOOR OPENINGS AND TRENCHES TO BE PROVIDED WITH TEMPORARY BARRIERS OR COVERS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH OSHA STANDARDS.

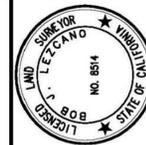
NOTE: RECORD BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY BOB J. LEZCANO, LICENSED LAND SURVEYOR NO. 8514 FOR REFERENCE.

FOUND 3/4" IP LS
5454 PER (64 PM 79)

FOUND 1" IP LS 5304
PER (79 PM 6)

EX HYDRANT AT NE
CORNER OF BAYSWATER
AND N. IDAHO

NORTH IDAHO STREET



817 Arnold Drive Ste. 50
Marinez, CA 94553
Ph: (925) 476-8499
www.apexce.net



NO.	REVISIONS	BY	APP	DATE

RECORD BOUNDARY & TOPOGRAPHIC SURVEY
937 N. IDAHO STREET, SAN MATEO, CA

SHEET
1 OF 1
DATE
2-14-19
PROJ#17107



BLECHER BUILDING + URBAN DESIGN

3343 22ND STREET
SAN FRANCISCO, CA 94110
415-364-8478
917-613-5816

PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.	DATE	ISSUE	BY
1	02/25/2018	PERMIT SET	HEB

PROJECT NO.:
CADD FILE:
DRAWN BY: HEB
CHECKED BY:
SCALE: AS NOTED

SEAL:

DRAWING TITLE:
SITE PLAN: PROPOSED OVER
RECORD BOUNDARY &
TOPO SURVEY WITH PARKING

SHEET NO.:

A1.0

© BLECHER BUILDING + URBAN DESIGN

**PROPOSED CONDOMINIUM
 CONVERSION WITH GARAGE**
 937-939 N. IDAHO ST.
 SAN MATEO, CA 94401
 A.P.N. 029-313-080

NO.	DATE	ISSUE	BY
1	12/28/2018	PLANNING COMMENT RESPONSE	HEB

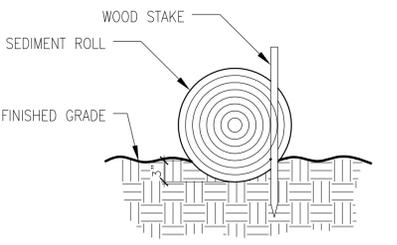
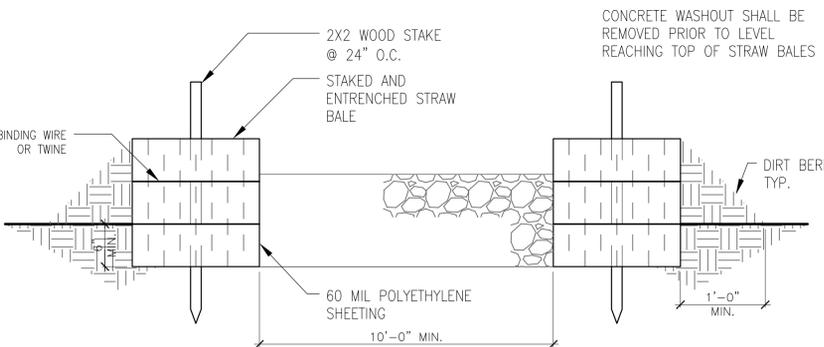
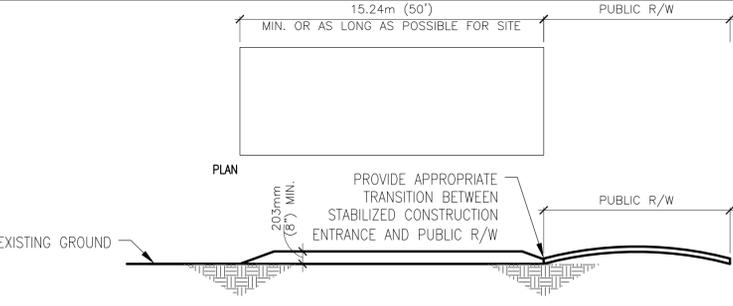
PROJECT NO.:
 CADD FILE:
 DRAWN BY: HEB
 CHECKED BY:
 SCALE: AS NOTED

SEAL:

DRAWING TITLE:
**EROSION CONTROL AND
 POLLUTION PREVENTION**

SHEET NO.:

A1.0.1
 © BLECHER BUILDING + URBAN DESIGN

<p>1</p>					
<p>24 NOT USED</p>	<p>20 NOT USED</p>	<p>16 NOT USED</p>	<p>12 NOT USED</p>	<p>8 NOT USED</p>	<p>4 NOT USED</p>
<p>23 NOT USED</p>	<p>19 NOT USED</p>	<p>15 NOT USED</p>	<p>11 NOT USED</p>	<p>7 NOT USED</p>	<p>EROSION CONTROL & POLLUTION PREVENTION NOTES: 1. CONTRACTOR TO REFER TO THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM'S CONSTRUCTION BMP (BEST MANAGEMENT PRACTICES) PLAN SHEET FOR BMP'S TO BE IMPLEMENTED 2. WATER SERVICE TO REMAIN ON-SITE FOR DUST CONTROL 3. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED. 4. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, AND DRAINAGE COURSES. 5. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER. 6. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS. 7. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS.) 8. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC. 9. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G., SWALES AND DIKES). 10. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE. 11. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS 12. NO CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED. 13. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER. 14. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S. 15. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.</p>
<p>22 NOT USED</p>	<p>18 NOT USED</p>	<p>14 NOT USED</p>	<p>10 NOT USED</p>	<p>6 NOT USED</p>	<p>2 EROSION CONTROL & POLLUTION PREVENTION NOTES</p> <p>DESIGN AND CONSTRUCTION SPECIFICATIONS: 1. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 51MM TO 76MM (2'-3") STONE. 2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 203MM (8"). 3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS. 4. THE LENGTH OF THE PAD SHALL BE AS REQUIRED AND SIZED TO FIT THE AVAILABLE SPACE, AS CLOSE TO 50' AS POSSIBLE. 5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY. 6. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARD OR OTHER APPROVED METHODS.</p>
<p>21 SEDIMENT ROLL ENTRENCHMENT IN FLAT AREA</p> 	<p>17 N.T.S.</p>	<p>17 AGGREGATE AND CONCRETE RINSE AREA DETAIL</p> 	<p>9 N.T.S.</p>	<p>9 STABILIZED CONSTRUCTION ENTRANCE</p> 	<p>9 N.T.S.</p>



BBUD

BLECHER BUILDING + URBAN DESIGN
3343 22ND STREET
SAN FRANCISCO, CA 94110
415-364-8478
917-613-5816

**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE**
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.:	DATE:	ISSUE:	BY:
	6/25/2018	PERMIT SET	HEB

PROJECT NO.:	
CADD FILE:	
DRAWN BY:	HEB
CHECKED BY:	
SCALE:	AS NOTED

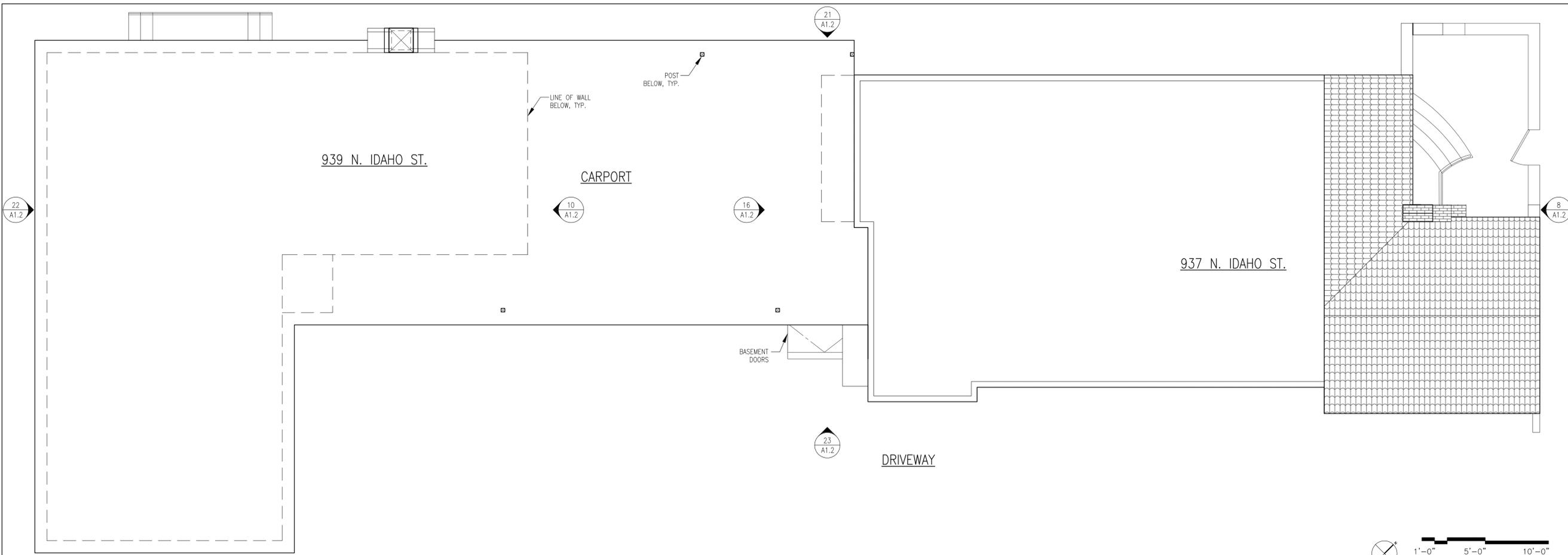
SEAL:

DRAWING TITLE:
EXISTING/DEMOLITION FLR. PLAN
EXISTING/DEMO. & PROPOSED
ROOF PLAN

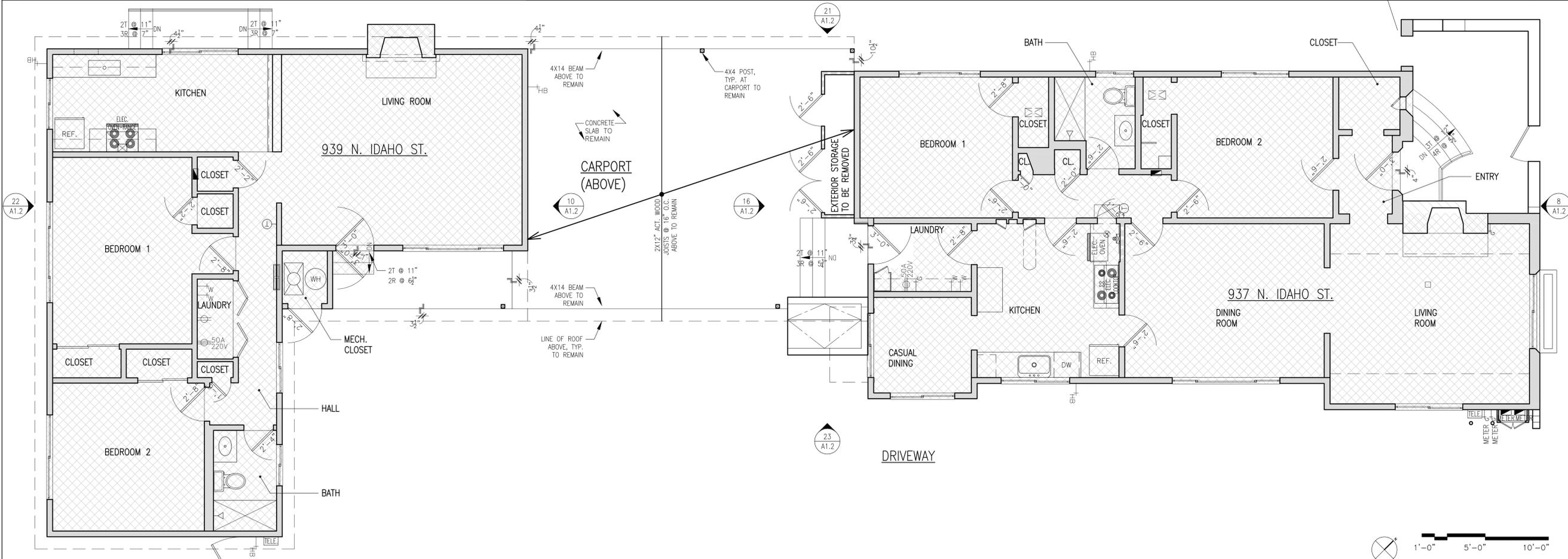
SHEET NO.:

A1.1

© BLECHER BUILDING + URBAN DESIGN



23 EXISTING/DEMOLITION & PROPOSED ROOF PLAN 1/4"=1'-0"



21 EXISTING/DEMOLITION GROUND FLOOR PLAN 1/4"=1'-0"



BBUD

BLECHER BUILDING + URBAN DESIGN
3343 22ND STREET
SAN FRANCISCO, CA 94110
415-364-8478
917-613-5816

**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE**
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080

NO.: DATE: ISSUE: BY:
1228/2018 PLANNING COMMENT RESPONSE HEB

PROJECT NO.:
CADD FILE: HEB
DRAWN BY:
CHECKED BY:
SCALE: AS NOTED

SEAL:

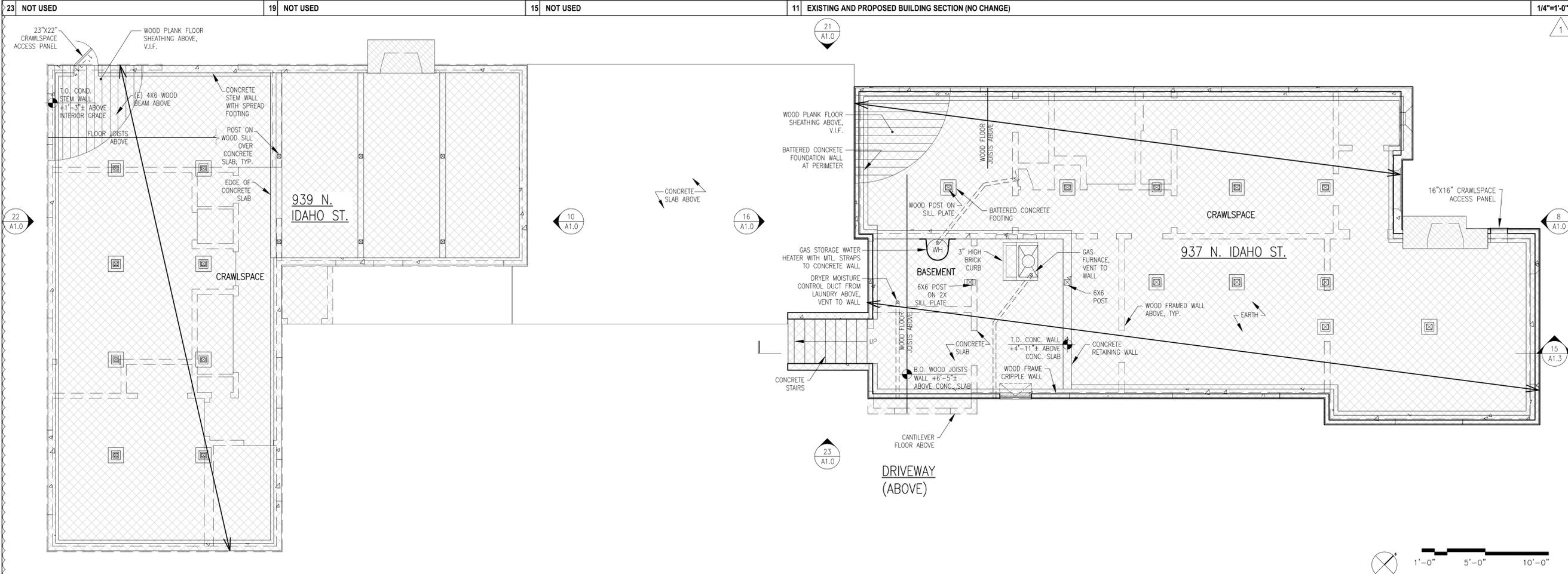
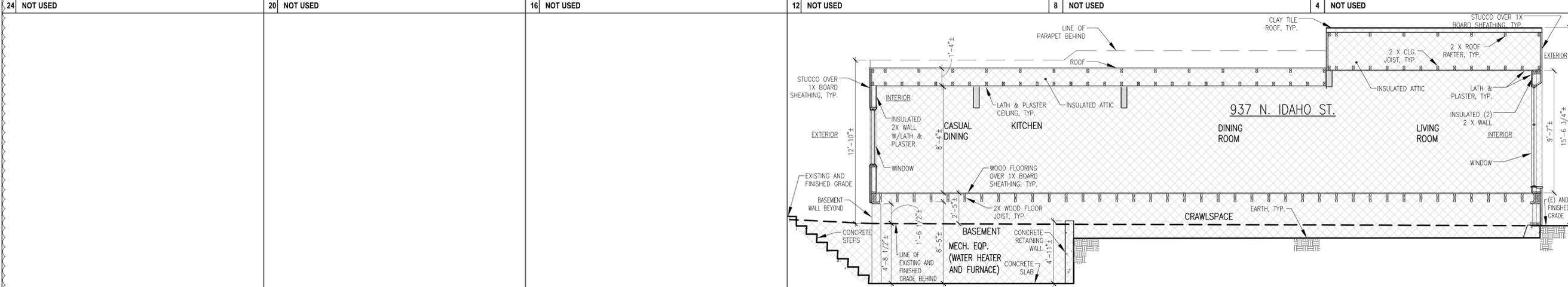
DRAWING TITLE:
EXISTING BUILDING SECTION
EXISTING CRAWLSPACE &
BASEMENT PLAN

SHEET NO.:

A1.3

© BLECHER BUILDING + URBAN DESIGN

24	NOT USED	20	NOT USED	16	NOT USED	12	NOT USED	8	NOT USED	4	NOT USED
----	----------	----	----------	----	----------	----	----------	---	----------	---	----------

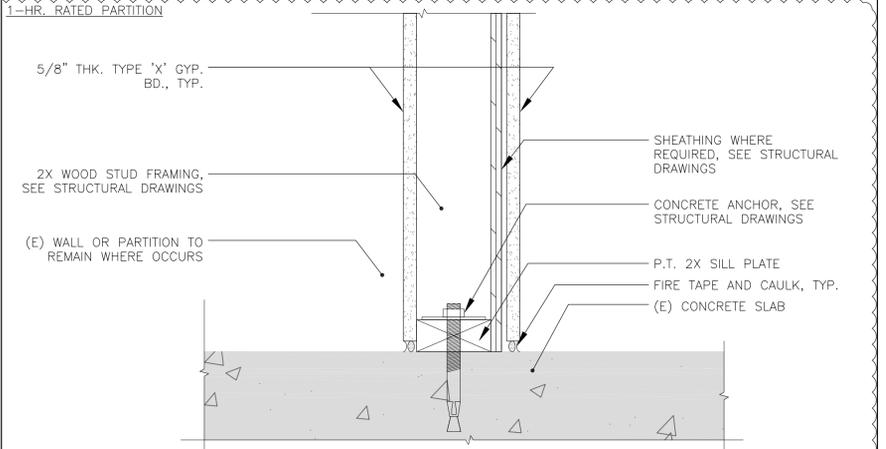
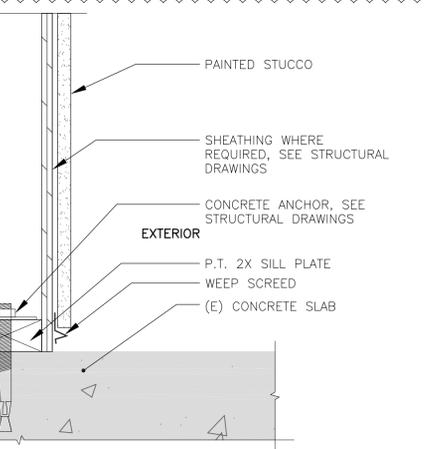
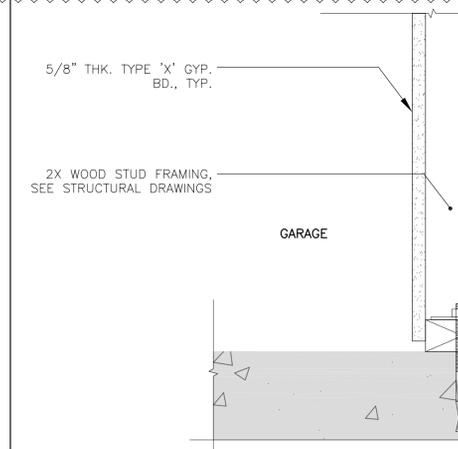
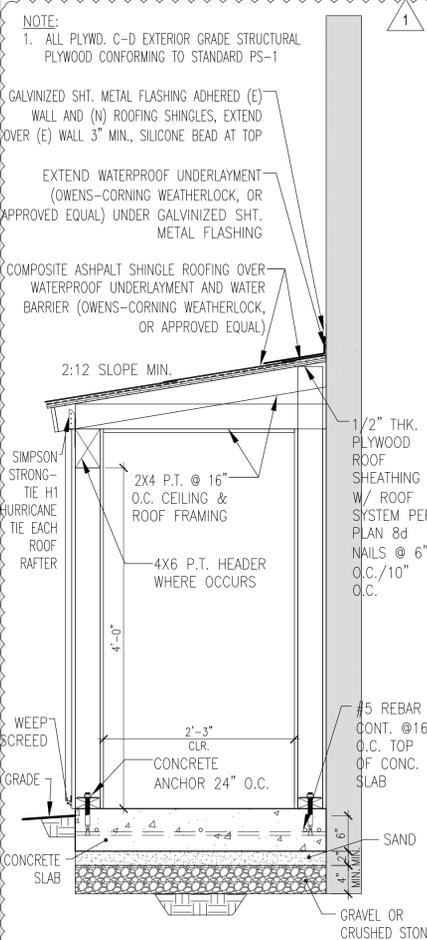


21 EXISTING AND PROPOSED CRAWLSPACE & BASEMENT PLAN (NO CHANGE) 1/4"=1'-0"

GENERAL NOTES:
 1. DIMENSIONS ARE TO FACE OF FRAMING FOR (N) AND FACE OF FINISH FOR (E), U.O.N.
 2. SEE FLOOR PLAN FOR WINDOW OPERATION.
 3. VERIFY ALL WINDOW AND DOOR SIZES WITH OWNER AND DESIGNER BEFORE ORDERING DOORS AND WINDOWS.
 4. VERIFY LOCATION OF ALL LIGHTS, SWITCHES AND OUTLETS WITH OWNER AND DESIGNER.
 5. PAINTED, DOUBLE GLAZE WINDOWS AND DOORS TYPICAL. U.O.N.
 6. WINDOW HEAD HEIGHTS SEE WINDOW SCHEDULE.

SECTION 2406 SAFETY GLAZING:
 USE TEMPERED GLAZING WHERE SAFETY GLAZING IS REQUIRED.
 CBC § 2406.4 HAZARDOUS LOCATIONS: THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING MATERIALS:
 1. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS.
 2. SHOWER DOORS, SHOWER OR BATH WINDOWS
 3. WINDOWS LESS THAN 24" FROM DOORS
 4. WINDOWS WHERE THE GLAZING IS WITHIN 60" OF WALKING SURFACES (INCLUDING STAIRS AND STAIR LANDINGS).

FLOOR PLAN NOTES:
 1. EXTERIOR WINDOWS AND DOORS SHALL MEET THE DESIGN PRESSURE RATING REQUIREMENTS OF CBC §1714.5 BY ONE OF THE METHODS BELOW:
 A. CBC §1714.5.1: MANUFACTURED EXTERIOR WINDOWS AND SLIDING DOORS SHALL BE LABELED AS CONFORMING WITH AAMA/WDMA/CSA101/1.5.2/A440. THE LABEL SHALL STATE THE NAME OF THE MANUFACTURER, THE APPROVED LABELING AGENCY, AND THE PRODUCT DESIGNATION. MANUFACTURED EXTERIOR SIDE-HINGED DOORS SHALL BE LABELED AS CONFORMING WITH AAMA/WDMA/CSA101/1.5.2/A440 OR COMPLY WITH §1714.5.2.
 B. CBC §1714.5.2: EXTERIOR WINDOW AND DOOR ASSEMBLIES SHALL BE TESTED IN ACCORDANCE WITH ASTM E 330 USING PARAMETERS ESTABLISHED BY THIS CODE SECTION. EVIDENCE OF TESTING BY AN APPROVED AGENCY SHALL BE SUBMITTED TO THE BUILDING OFFICIAL. ASSEMBLIES CONTAINING GLASS SHALL ALSO COMPLY WITH ITEM "C" BELOW.
 C. EXTERIOR WINDOWS AND DOORS THAT ARE NOT LABELED OR TESTED AS REQUIRED ABOVE SHALL BE DESIGNED BY A REGISTERED DESIGN PROFESSIONAL. THE DESIGN SHALL INCORPORATE ALL ITEMS AND METHODS AS DESCRIBED IN CBC § 2403.2, § 2403.3, AND § 2404.
 2. CBC § 1030.2 EMERGENCY ESCAPE AND RESCUE OPENINGS.
 • SIZE: 5.7 SQ. FT. MIN. (5.0 SQ. FT. MIN. AT GRADE/FLOOR)
 • NET CLEAR OPENING HEIGHT: 24 INCHES MIN.
 • NET CLEAR OPENING WIDTH: 20 INCHES MIN.
 3. CBC § 1003.5 ELEVATION CHANGE. EXCEPTION 1, A SINGLE STEP WITH A MAXIMUM RISER HEIGHT OF 7" IS PERMITTED FOR BUILDINGS WITH OCCUPANCIES IN GROUPS F, H, R-2, R-3, S AND U AT EXTERIOR DOORS NOT REQUIRED TO BE ACCESSIBLE BY CHAPTER 11A OR 11B.
 4. CBC § 1008.1.5 FLOOR ELEVATION. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF A DOOR. SUCH FLOOR OR LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR. LANDINGS SHALL BE LEVEL EXCEPT FOR EXTERIOR LANDINGS, WHICH ARE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2% SLOPE.
 5. CBC § 1008.1.5 FLOOR ELEVATION. EXCEPTION 3. IN GROUP R-3 OCCUPANCIES NOT REQUIRED TO BE ADAPTABLE OR ACCESSIBLE, THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR, DOES NOT SWING OVER THE LANDING.
 6. CBC § 1009.6.3 ENCLOSURES UNDER STAIRWAYS. EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.



16 EXTERIOR PARTITION 3"=1'-0" 8 1-HR. RATED PARTITION 3"=1'-0"

KEYED FLOOR PLAN NOTES:
 1 1-HR. RATED PARTITION
 2 EXTERIOR WALL WITH STUCCO
 3 GARAGE DOOR OPENER
 4 LONG-TERM BICYCLE PARKING SPACES, WITH THE EXCEPTION OF INDIVIDUAL BICYCLE LOCKERS, SHALL PERMIT THE LOCKING OF THE BICYCLE FRAME AND ONE (1) WHEEL WITH A U-TYPE LOCK AND SUPPORT THE BICYCLE IN A STABLE POSITION WITHOUT DAMAGE TO WHEELS, FRAME, OR COMPONENTS. BICYCLE PARKING FACILITIES SHALL BE SECURELY ANCHORED SO THEY CANNOT BE EASILY REMOVED AND SHALL BE OF SUFFICIENT STRENGTH AND DESIGN TO RESIST VANDALISM AND THEFT.

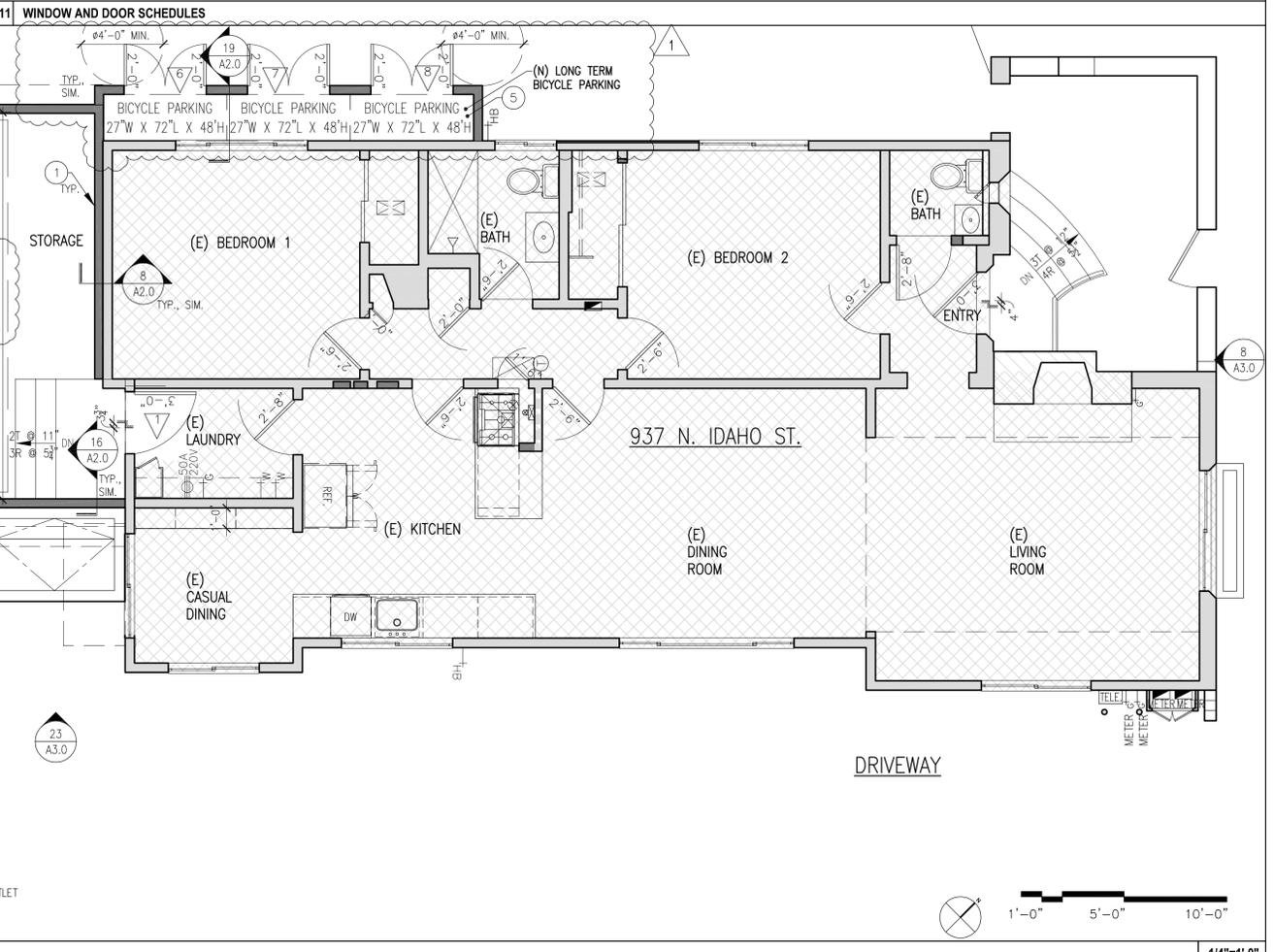
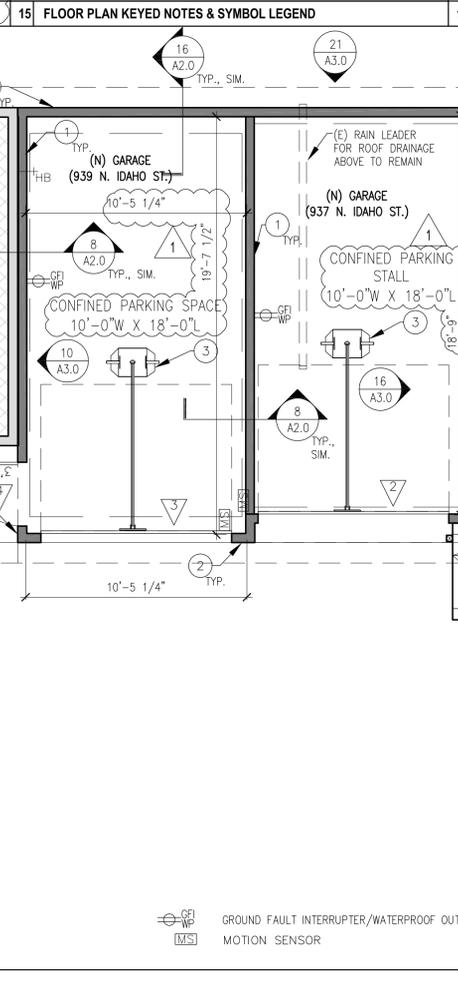
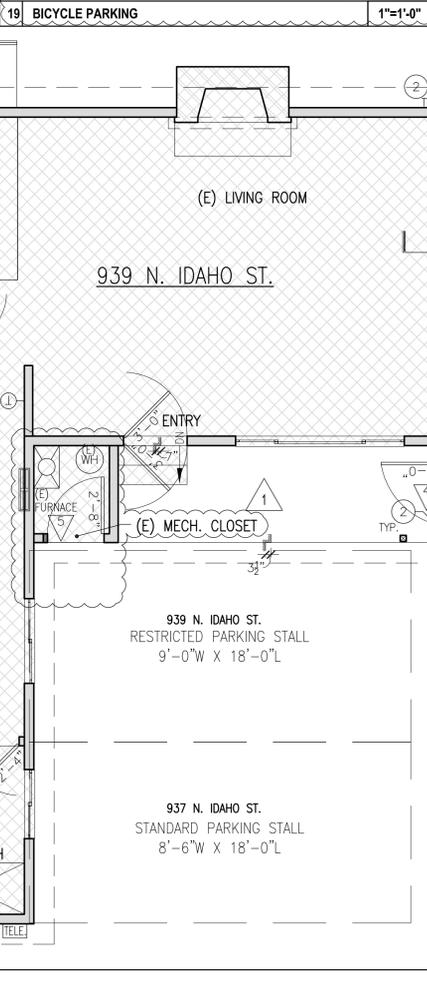
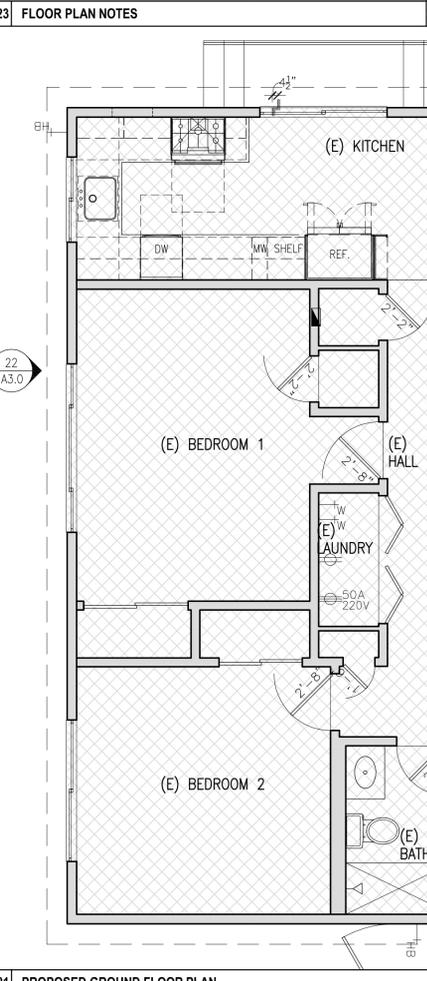
▽ DOOR TAG, SEE 11/A2.0
 ① WINDOW TAG, SEE 11/A2.0

WINDOW SCHEDULE:

LOCATION	TAG	NOMINAL SIZE (W X H)	HEADER HEIGHT A.F.F.	OPERATION	TYPE (SEE 4/A2.0)	MFR.	MODEL	GLASS	FRAME & SASH (SEE 22/A3.0)	HARDWARE	NOTES
-	-	-	-	-	-	-	-	-	-	-	-

DOOR SCHEDULE:

(N)/E/REPLACE	LOCATION	TAG	SIZE (WXH)	TYPE	INTERIOR/EXTERIOR	MATERIAL	OPERATION	NOTES
(R)	LAUNDRY (937 N. IDAHO)	1	3'-0" x 6'-8"	-	INTERIOR	S.C. WOOD OR FIBERGLASS	SWING	W/ LOCK SET; SEAL, GASKET AND WEATHER STRIP, 20 MIN. FIRE RATING, SELF-CLOSING, SELF-LATCHING
(N)	GARAGE (937 N. IDAHO)	2	9'-0" x 7'-0"	-	EXTERIOR	S.C. WOOD OR FIBERGLASS	ROLL-UP GARAGE DOOR	W/ LOCK SET
(N)	GARAGE (939 N. IDAHO)	3	9'-0" x 7'-0"	-	EXTERIOR	S.C. WOOD OR FIBERGLASS	ROLL-UP GARAGE DOOR	W/ LOCK SET
(N)	GARAGE (937 N. IDAHO)	4	3'-0" x 6'-8"	-	EXTERIOR	S.C. WOOD OR FIBERGLASS	SWING	W/ LOCK SET
(R)	MECH. CLOSET (939 N. IDAHO)	5	2'-8" x 6'-0"	-	EXTERIOR	S.C. WOOD OR FIBERGLASS	SWING	W/ LOCK SET; LOUVERED OR VENTED
(N)	BICYCLE PARKING	6	(2) 2'-0" x 4'-0"	-	EXTERIOR	S.C. WOOD OR FIBERGLASS	SWING	W/ LOCK SET
(N)	BICYCLE PARKING	7	(2) 2'-0" x 4'-0"	-	EXTERIOR	S.C. WOOD OR FIBERGLASS	SWING	W/ LOCK SET
(N)	BICYCLE PARKING	8	(2) 2'-0" x 4'-0"	-	EXTERIOR	S.C. WOOD OR FIBERGLASS	SWING	W/ LOCK SET



NO.: DATE: ISSUE: BY:
 6/25/2018 PERMIT SET HEB
 1 12/28/2018 PLANNING COMMENT RESPONSE HEB

PROJECT NO.:
 CADD FILE: HEB
 DRAWN BY: HEB
 CHECKED BY:
 SCALE: AS NOTED

SEAL:

DRAWING TITLE:
 PROPOSED FLOOR PLANS

SHEET NO.:

A2.0
 © BLECHER BUILDING + URBAN DESIGN



BBUD

BLECHER BUILDING + URBAN DESIGN
3343 22ND STREET
SAN FRANCISCO, CA 94110
415-364-8478
917-613-5816

**PROPOSED CONDOMINIUM
CONVERSION WITH GARAGE
937-939 N. IDAHO ST.
SAN MATEO, CA 94401
A.P.N. 029-313-080**

NO.	DATE	ISSUE	BY
5/4/2018		PRE-APP NEIGHBORHOOD INFO. MTG.	HEB
6/25/2018		PERMIT SET	HEB
1	12/28/2018	PLANNING COMMENT RESPONSE	HEB

PROJECT NO.:
 CADD FILE:
 DRAWN BY: HEB
 CHECKED BY:
 SCALE: AS NOTED

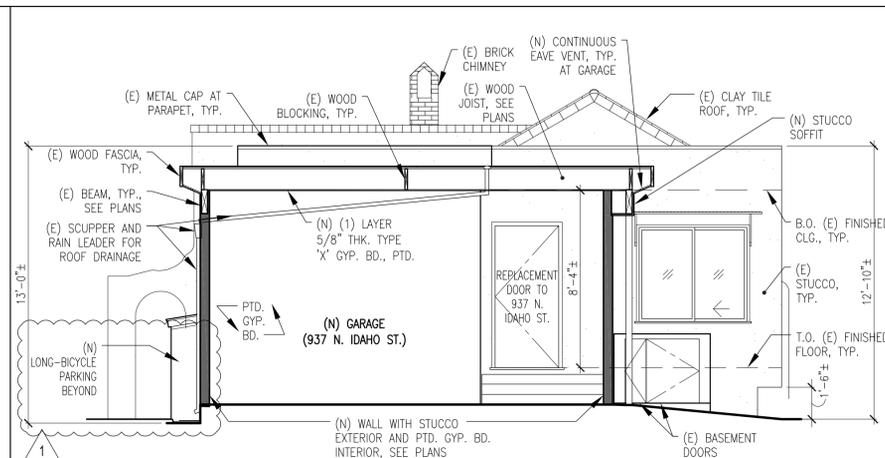
SEAL:

DRAWING TITLE:
PROPOSED
EXTERIOR ELEVATIONS

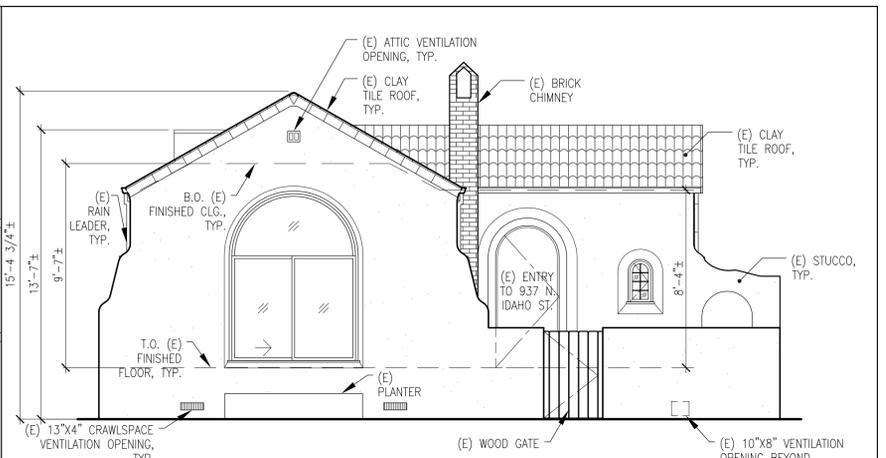
SHEET NO.:

A3.0

© BLECHER BUILDING + URBAN DESIGN



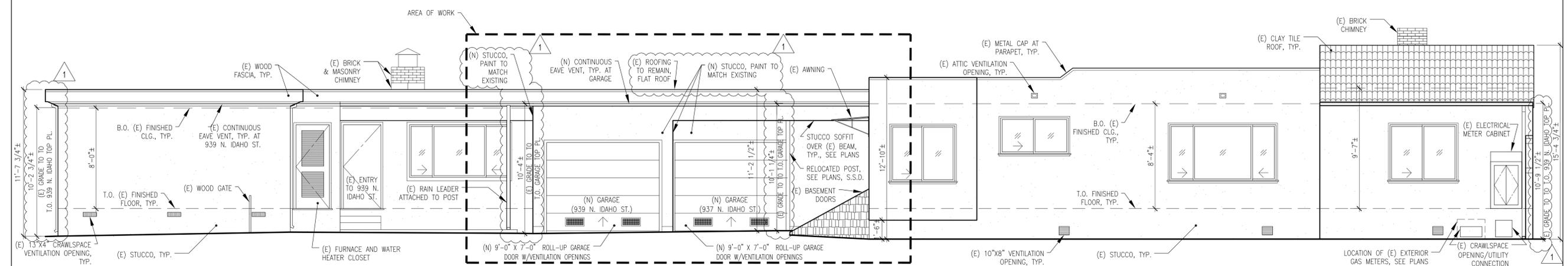
16 PROPOSED WEST ELEVATION (937 N. IDAHO ST.) 1/4"=1'-0"



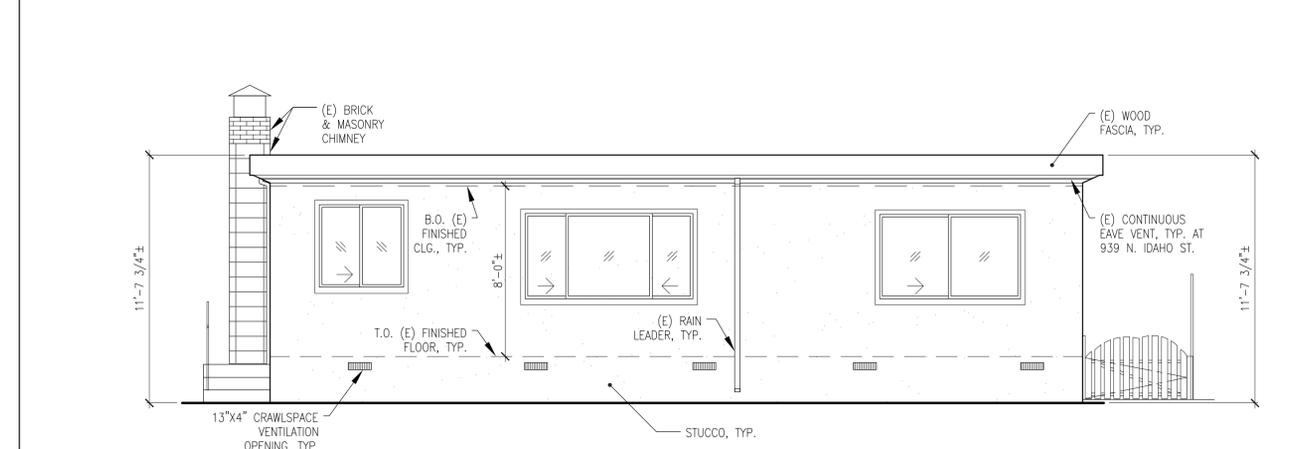
8 PROPOSED EAST ELEVATION (937 N. IDAHO ST.) 1/4"=1'-0"

24 NOT USED

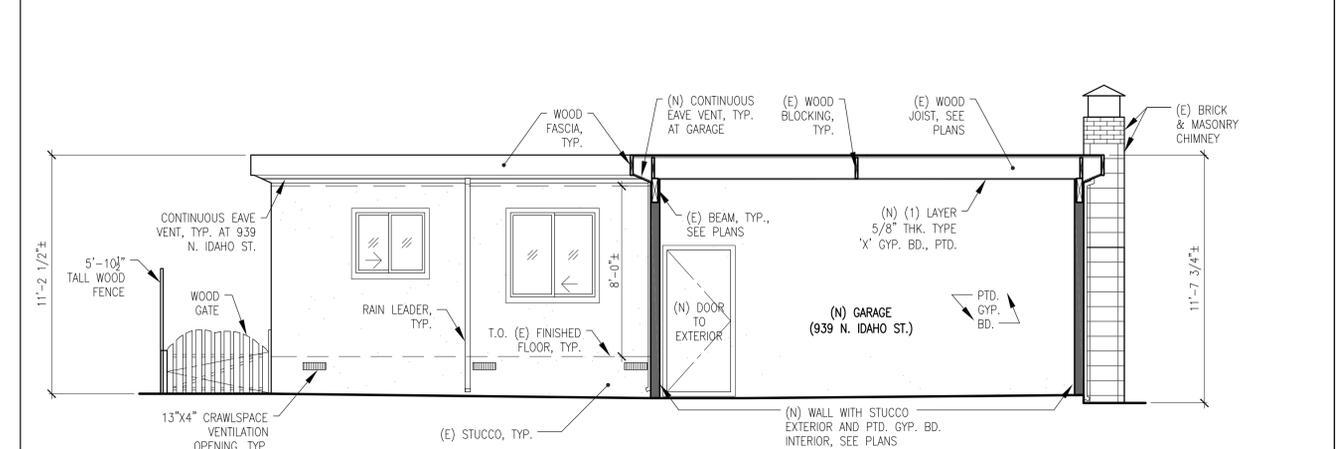
20 NOT USED



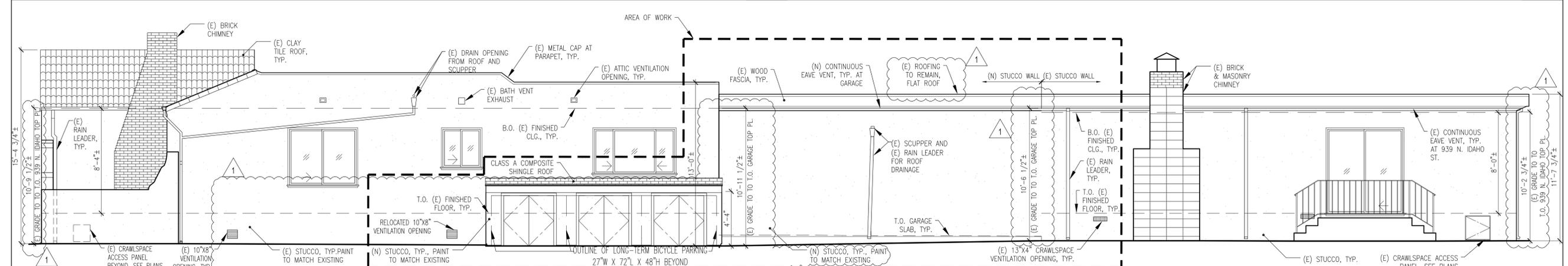
23 PROPOSED SOUTH ELEVATION (937-939 N. IDAHO ST.) 1/4"=1'-0"



22 PROPOSED WEST ELEVATION (939 N. IDAHO ST.) 1/4"=1'-0"



10 PROPOSED EAST ELEVATION (939 N. IDAHO ST.) 1/4"=1'-0"



21 PROPOSED NORTH ELEVATION (937-939 N. IDAHO ST.) 1/4"=1'-0"



SAN MATEO COUNTYWIDE

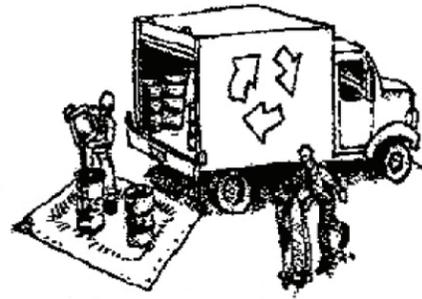
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



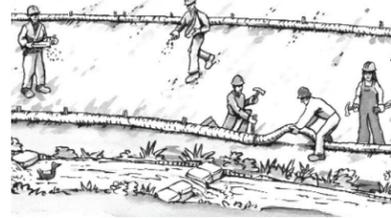
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



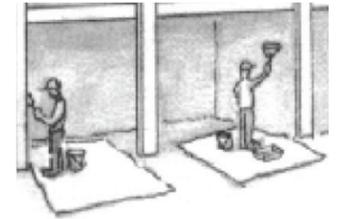
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

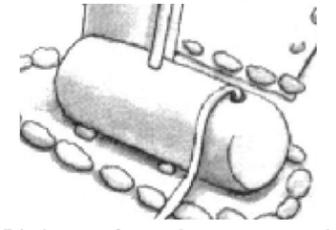
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

GENERAL NOTES

1. ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE APPROVED PROJECT DRAWINGS, SPECIFICATIONS, 2016 CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE CODES OR REGULATIONS.
2. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF ALL OTHER DISCIPLINES, AND IF THERE ARE ANY DISCREPANCIES, CONTRACTOR SHALL CONTACT THE ENGINEER OR ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING. WORK DONE WITHOUT VERIFICATION OR CLARIFICATION SHALL BE ENTIRELY THE CONTRACTOR'S RESPONSIBILITY.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SELECTION OF CONSTRUCTION METHODS AND PROCEDURES, FOR THE SAFETY AND PRESERVATION OF THE BUILDING AND ITS CONTENTS DURING CONSTRUCTION, AND FOR PROVIDING A SAFE PLACE TO WORK.
4. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, BUT ARE OF A SIMILAR CHARACTER TO THOSE WHICH ARE SHOWN OR NOTED, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED TO THOSE SHOWN AND/OR NOTED, SUBJECT TO APPROVAL BY THE ENGINEER.
5. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST AVAILABLE KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ENGINEER AND OR ARCHITECT OF ANY DISCREPANCIES.
6. DO NOT SCALE DRAWINGS.

FOUNDATION

1. ALL FOUNDATIONS SHALL BEAR ON APPROVED, FIRM AND UNDISTURBED NATIVE SOILS OR ENGINEERED FILLS AT DEPTHS SHOWN ON THE DRAWINGS. CONTACT ENGINEER PRIOR TO PROCEEDING IF SOIL ENCOUNTERED IS INADEQUATE OR QUESTIONABLE.
2. SILL BOLTS SHALL EXTEND 7" MINIMUM INTO CONCRETE.
3. HOLDOWN ANCHOR BOLTS SHALL EXTEND INTO CONCRETE THE DEPTH SPECIFIED BY THE MANUFACTURER, U.N.O.

CONCRETE

1. CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS AT 28 DAYS:
 - FOUNDATION: 3000 PSI N.W.C *
 - SLAB: 3000 PSI N.W.C *
- * NOTE: SPECIAL INSPECTION NOT REQUIRED SINCE FC = 2500 PSI IS USED IN THE DESIGN.
2. ALL CEMENT SHALL CONFORM TO ASTM C-150, TYPE I.
3. AGGREGATE SHALL CONFORM TO ASTM C-33.
4. ALL REBAR, ANCHOR BOLTS, INSERTS, ETC. SHALL BE SECURELY TIED AND FIXED BEFORE POUR.
5. ALL CONCRETE SHALL BE REINFORCED UNLESS SPECIFICALLY NOTED 'NOT REINFORCED'.

REINFORCING STEEL

1. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, (INCLUDING SUPPLEMENT S-1), GRADE 60 FOR NO. 5 BARS AND LARGER AND GRADE 40 FOR NO. 4 BARS AND SMALLER. STEEL
2. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
 - SURFACE Poured AGAINST GROUND 3"
 - FORMED SURFACES BELOW GRADE 2"
 - SURFACES EXPOSED TO WEATHER 2"
3. ALL REINFORCEMENT SHALL BE BENT COLD. NO. 5 OR LARGER REINFORCING BARS SHALL NOT BE RE-BENT WITHOUT APPROVAL BY THE PROJECT ENGINEER.

LUMBER

1. ALL LUMBER FOR FRAMING MEMBERS SHALL BE DOUGLAS FIR (DF) OF THE FOLLOWING GRADE, U.N.O. (OR EQUIVALENT GRADE OF ANOTHER SPECIES):
 - HEADERS & POSTS NO. 1 (DF1)
 - STUDS AND PLATES CONSTRUCTION
 - BLOCKING, FURRING AND MISC. NO. 2 (DF2)
2. ALL LUMBER TO BE GRADE STAMPED S-DRY (SURFACE DRY; MOISTURE CONTENT NOT GREATER THAN 19%).
3. ALL FRAMING EXPOSED TO WEATHERING SHALL BE PRESSURE TREATED OR WOOD OF NATURAL RESISTANCE TO DECAY, SUCH AS REDWOOD COMMERCIAL LUMBER.
4. ALL TIMBER PLACED AGAINST BRICK OR CONCRETE SHALL BE PRESSURE TREATED.
5. ALL WOOD FRAMING SHALL BE SET PLUMB AND LEVEL (U.N.O.) TO OBTAIN FULL SOLID BEARING, CUT TO FIT FOR SLOPED ELEMENTS OR WHERE FRAMED AGAINST. SHIMS SHALL BE AVOIDED, U.N.O.
6. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC., UNLESS SPECIFICALLY NOTED OR DETAILED.
7. ALL CONNECTORS TO BE SIMPSON STRONG-TIE OR EQUIVALENT.
8. ALL FASTENERS USED ON PRESSURE TREATED WOOD TO BE STAINLESS STEEL OR GALVANIZED AS PER ASTM A153.

PLYWOOD

1. PLYWOOD PANELS SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE, TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE U.S. PRODUCT STANDARD PS-1.
2. FOR PLYWOOD GRADES AND NAILING FOR SHEAR WALLS, SEE DRAWINGS.
3. PLYWOOD SHEETS ON WALLS SHALL BE LAID WITH LONG DIMENSION VERTICAL. BLOCK ALL EDGES.

EPOXY

1. U.N.O. USE EPOXY SET-XP22 (BY SIMPSON) FOR THREADED RODS AND REBARS. INSTALL INTO EXISTING CONCRETE PER MANUFACTURER RECOMMENDATIONS. SURFACES TO RECEIVE EPOXY MUST BE CLEAN AND SOUND AND EPOXY SHOULD BE APPLIED TO DRY SURFACES.

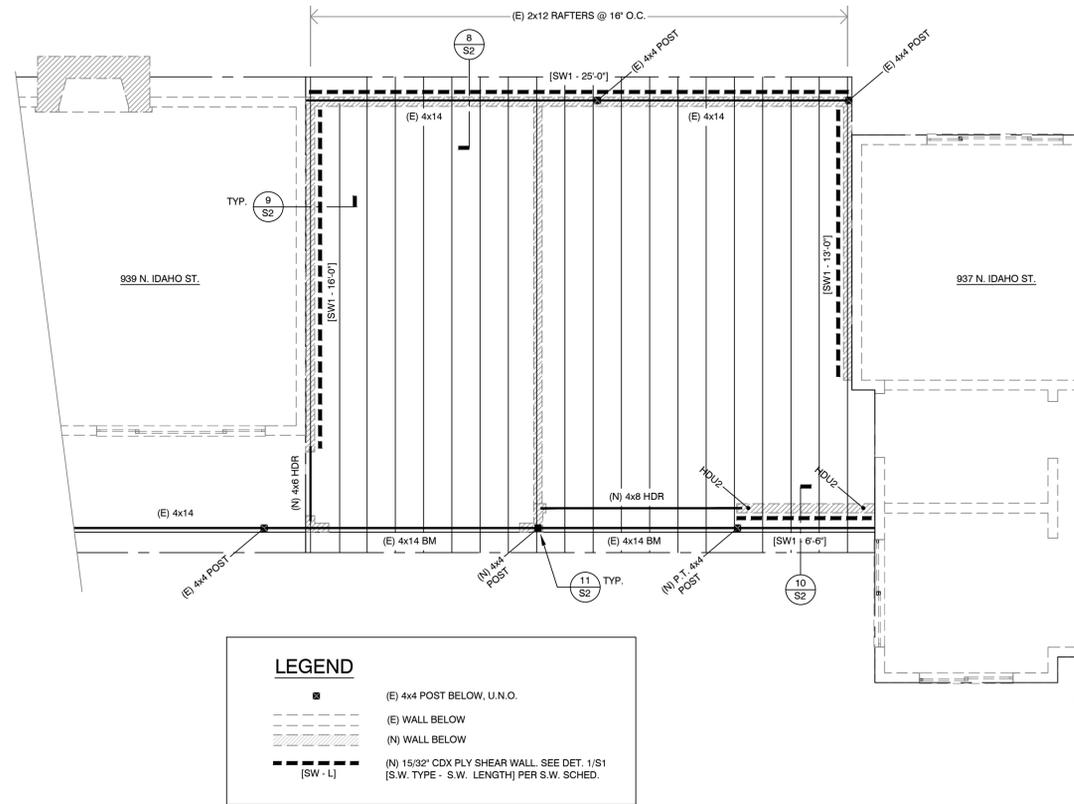
SPECIAL INSPECTIONS

THE FOLLOWING WORK REQUIRES SPECIAL INSPECTION:

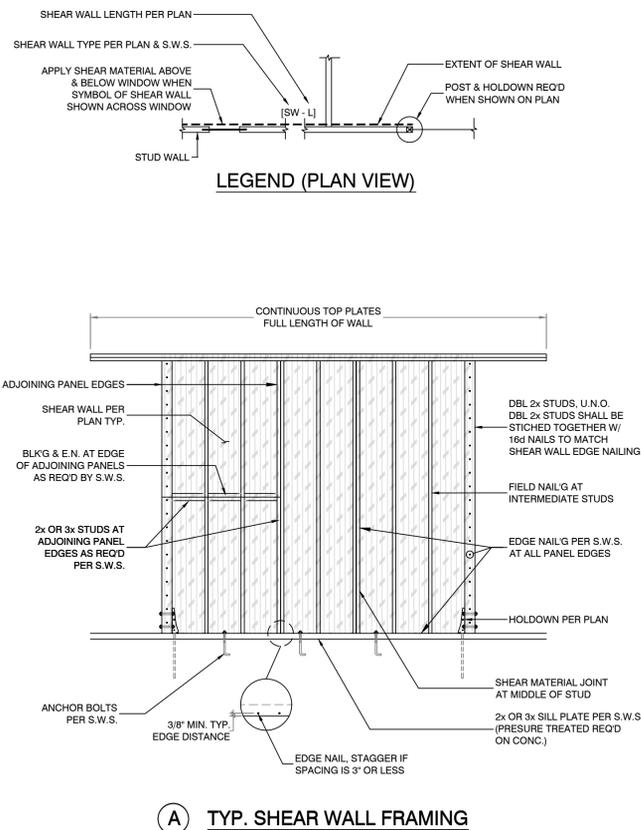
1. ANCHOR BOLT INSTALLATION
2. HOLDOWN INSTALLATION
3. SHEAR WALL AND SHEAR CLIP INSTALLATION
4. EPOXY SET BOLTS SHALL BE LOAD-TESTED AS FOLLOWS:
 - SILL BOLTS: 25% OF THE BOLTS SHALL BE TORQUE TESTED TO 50 FT-LBS.
 - HOLD DOWN RODS: 100% OF THE RODS SHALL BE PULL-TESTED FOR NOT LESS THAN 5 MINUTES AS FOLLOWS:
 - HDU2: 3900 LBS

SHEAR WALL SCHEDULE (3.4.5.6.7)						
S.W. MARK	SHEAR WALL MATERIAL	EDGE NLG.	FIELD NLG.	SOLE PLATE NLG.	A35 CLIPS AT TOP PL.	ANCHOR BOLTS TO FDN.
SW1	15/32" PLYWOOD CDX ⁽¹⁾ AT ONE SIDE (1)	8d @ 6" O.C.	8d @ 12" O.C.	16d @ 6" O.C.	A35 @ 16" O.C.	1/2" TITEN H.D. @ 16" O.C.

(1) PLYWOOD SHALL BE CDX, C-C, STRUCTURAL II OR BETTER.
 (2) FRAMING AT ADJOINING PANEL EDGES SHALL BE 3x OR WIDER AND NAILS SHALL BE STAGGERED WHEN 16d NAILS ARE SPACED 4" OR LESS ON CENTER.
 (3) ANCHOR BOLTS SHALL BE 1/2" TITEN SCREWS H.D. EMBEDDED 3" MIN. INTO (E) CONCRETE
 (4) ALL NAILS SHALL BE COMMON NAILS OR GALVANIZED (HOT DIPPED).
 (5) 16d NAILS SHALL HAVE 2" MIN. PENETRATION INTO MAIN MEMBERS.
 (6) EDGE NAILING TO BE NOT LESS THAN 3/8" FROM PANEL EDGE. NAIL HEADS SHALL NOT PENETRATE PLYWOOD. REMOVE ALL SHINERS AND RE-DRIVE.
 (7) REPLACE ALL FRAMING MEMBERS SPLIT BY FASTENERS.

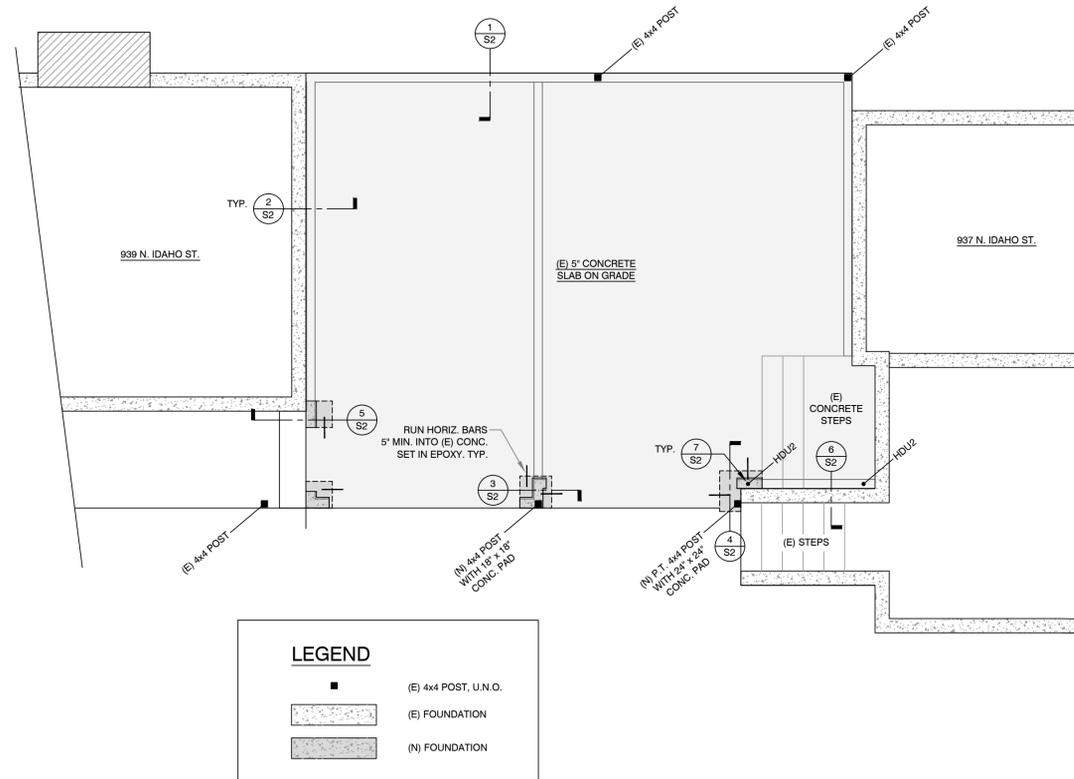


ROOF FRAMING PLAN - EXISTING AND PROPOSED



TYPICAL SHEAR WALL DETAIL

1



FOUNDATION PLAN - EXISTING AND PROPOSED

FAR
associates
engineers

3615 17th STREET
SAN FRANCISCO, CA 94114
P - (415) 756-0612
INFO@FAENGINEERS.COM
WWW.FAREENGINEERS.COM

ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE UNPUBLISHED WORK OF FAR ASSOCIATES AND MAY NOT BE COPIED, REPRODUCED, REUSED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF FAR ASSOCIATES. DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF FAR ASSOCIATES AND ITS USE IS RESTRICTED TO THE PROJECT AND SITE FOR WHICH THEY WERE PREPARED.

PROPOSED GARAGE
937 - 939 N. IDAHO STREET
SAN MATEO, CA
OWNER: ROBERT ZLATIC

ENGINEER STAMP



REVISIONS AND RELEASES

JOB NO: PJ17093

DATE: 06.25.18

SCALE: 1"=1'

TITLE

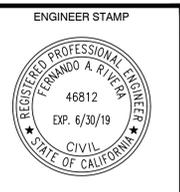
GENERAL NOTES
FOUNDATION PLAN
AND ROOF
FRAMING PLAN

DRAWING

S1

ALL DESIGN DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE UNPUBLISHED WORK OF FAR ASSOCIATES AND MAY NOT BE COPIED, REVISED, REUSED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF FAR ASSOCIATES. DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF FAR ASSOCIATES AND ITS USE IS RESTRICTED TO THE PROJECT AND SITE FOR WHICH THEY WERE PREPARED.

PROPOSED GARAGE
937 - 939 N. IDAHO STREET
SAN MATEO, CA
OWNER: ROBERT ZLATIC



REVISIONS AND RELEASES

JOB NO: PJ17093
DATE: 06.25.18
SCALE: 1"=1'

TITLE
STRUCTURAL DETAILS

DRAWING
S2

NOT USED	16	NOT USED	12	<p>USE SPAX #8 x5/8" SCREWS TO ATTACH A35 CLIPS TO (E) ROOF SHEATHING</p>	8		4																
NOT USED	15		11	<table border="1"> <thead> <tr> <th colspan="4">HOLDOWN ANCHORS</th> </tr> <tr> <th>HD</th> <th>BOLT SIZE</th> <th>(N) FTG. ANCHOR</th> <th>(E) FTG. Lp' min</th> </tr> </thead> <tbody> <tr> <td>HDU2</td> <td>5/8"</td> <td>SB5/8x24</td> <td>18"</td> </tr> <tr> <td></td> <td></td> <td></td> <td>12"</td> </tr> </tbody> </table>	HOLDOWN ANCHORS				HD	BOLT SIZE	(N) FTG. ANCHOR	(E) FTG. Lp' min	HDU2	5/8"	SB5/8x24	18"				12"	7		3
HOLDOWN ANCHORS																							
HD	BOLT SIZE	(N) FTG. ANCHOR	(E) FTG. Lp' min																				
HDU2	5/8"	SB5/8x24	18"																				
			12"																				
NOT USED	14	<p>USE SPAX #8 x5/8" SCREWS TO ATTACH A35 CLIPS TO (E) ROOF SHEATHING</p>	10		6		2																
NOT USED	13	<p>USE SPAX #8 x5/8" SCREWS TO ATTACH A35 CLIPS TO (E) ROOF SHEATHING</p>	9		5		1																